



mesa·az *Design Review Board*

Staff Report

CASE NUMBER: DRB17-00160 **Andy's Frozen Custard (exposed neon light)**
LOCATION/ADDRESS: 1158 South Greenfield Road
REQUEST: Approval of neon lights/LED exterior illumination for the proposed Andy's Frozen Custard drive-thru restaurant at Greenfield and Southern.
COUNCIL DISTRICT: District 2
OWNER: Ken Treat and Classen Asset Management LLC
APPLICANT: Bill Jeorling, Archicon - Architecture & Interiors, L.C.
ARCHITECT: Archicon - Architecture & Interiors, L.C.
STAFF PLANNER: Wahid Alam, AICP

SITE DATA

PARCEL NO.: 140-48-133
PARCEL SIZE: 1.01± ac.
EXISTING ZONING: LC PAD
GENERAL PLAN: Neighborhood Village
CURRENT LAND USE: Vacant pad site

SITE CONTEXT

NORTH: Existing shopping center – zoned LC PAD
EAST: (across drive aisle) Existing development – zoned LC
SOUTH: (across Southern Avenue) Existing commercial development – zoned LC
WEST: Vacant lot across existing retention basin- zoned NC PAD

STAFF ANALYSIS

This proposal is to install exposed exterior illumination for a proposed Andy's Frozen Custard located within the commercial center located at the northwest corner of Southern Avenue and Greenfield Road. The zoning code requires the approval of the Design Review Board to allow the use of exposed exterior building illumination (§11-30-5D). The applicant is proposing that the sloped roof over the main building be wrapped around at the top with perimeter neon lighting on clear anodized aluminum fascia.

Analysis of Finding for approval of exterior building illumination per Section 11-30-5 D:

1. Findings for Approval. The use of exposed neon, argon, LED or krypton tubing, exposed incandescent lighting, or other exposed artificial lighting to outline any structure or portion thereof may be authorized after review and approval by the Design Review Board. The Board shall approve exposed building illumination only upon a finding that such illumination:

- a. Constitutes a design component of the overall building architecture; and

The exposed neon tubes are part of the retro design theme that acts as a component of the building architecture.

- b. Is integrated into the primary physical elements of the building or development, and is harmonious with the architectural style of the structure(s); and

The sloped roof over the main building be wrapped around at the top with perimeter neon lighting on clear anodized aluminum fascia that acts as a primary physical element of the building and is harmonious with the retro architectural style.

- c. Serves only for the purpose of embellishing the nighttime architecture of the building, and does not portray an advertising message; and

The rooftop perimeter neon is an embellishment to the night time visual expression of the architecture of the building which does not carry any advertisement messages.

- d. Is compatible with the land use and architecture of adjacent developments.

The proposed development is compatible to the surrounding uses within an existing commercial center.

2. Substantial Conformance Required. Any approval by the Design Review Board for exposed building illumination requires finding that the structure or building complex on which the lighting is to be used shall be in substantial compliance with all current Mesa City Code requirements and regulations.

The proposed development meets and exceeds Mesa development standards and regulations.

3. Full Functionality Required for Use. If any component of the lighting system becomes nonfunctional, neither the entire lighting system, nor any portion thereof, may be illuminated until the entire lighting system is repaired.

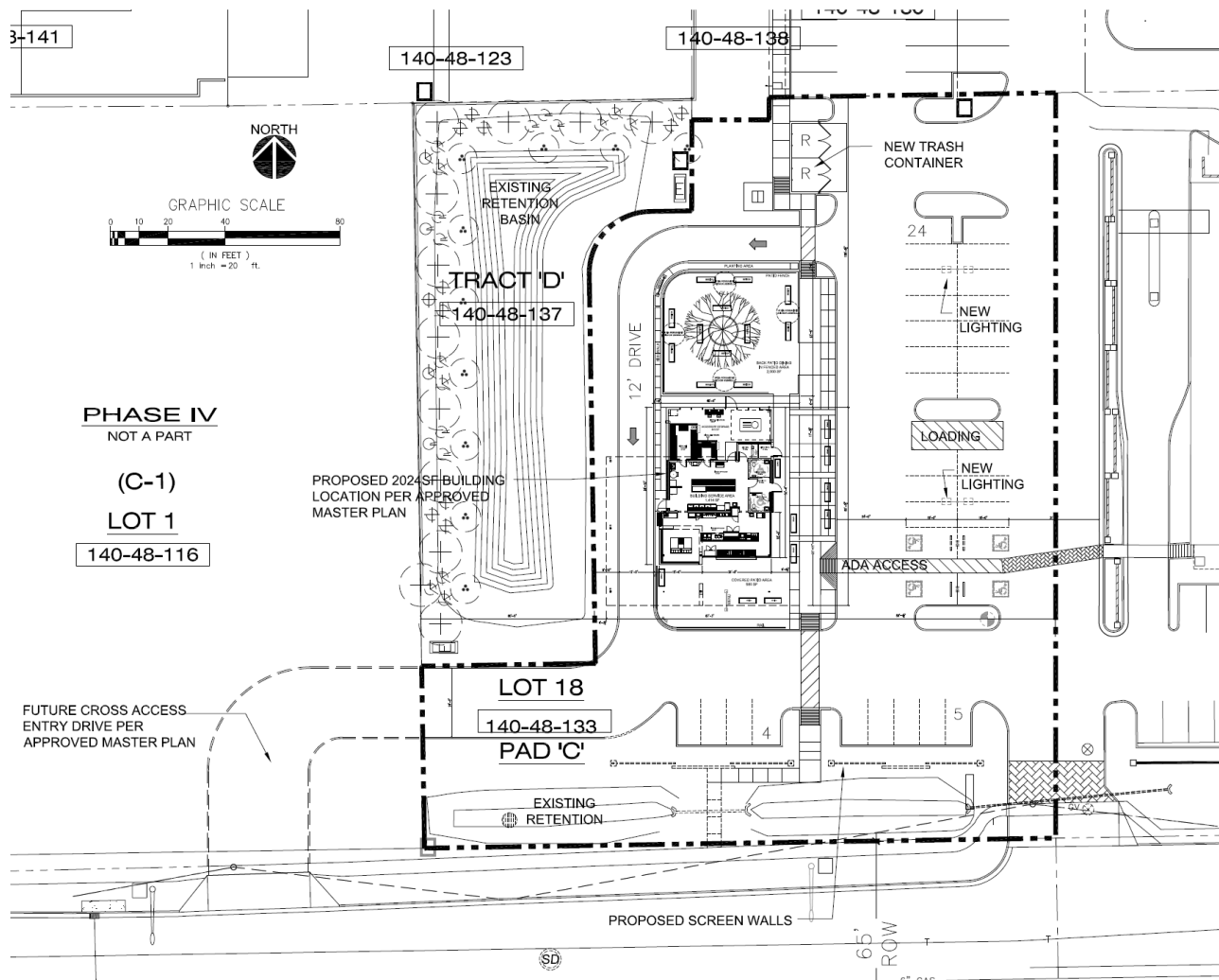
A condition of approval is included regarding the full functionality (condition#10).

The proposed Andy's Frozen Custard at this location is the second such drive-thru proposed in Mesa, the first one being near McKellips Road and Stapley Drive. The applicant is requesting Site Plan Modification for a drive-thru facility with outdoor seating on a 1.01± acre vacant site that was previously approved for a drive-thru facility within Greenfield Court commercial center. The proposed building has a footprint of 2,024 square feet of service area (kitchen, restroom, ground mounted mechanical equipment, etc.), there is no indoor dining facility. The applicant has indicated that employees will walk up to vehicles in the drive-thru lane to take orders from customers, rather than the standard drive-thru speaker box. Customers can also walk up to order windows at the front of the building facing Southern Avenue. Some seating is being provided to allow customers to sit in the patio in the shade under the extended slope. The layout provides a patio area of 2,000 square feet of seating area to the north side of the building adjacent to the drive-thru lane. To buffer the seating area and improve the quality of the outdoor

dining area, staff suggest to install seating walls including 5' wide landscape yards along the drive thru lane (condition # 6).

The proposed pedestrian connection to the existing shopping center to the north needs to provide transitional space adjacent to the proposed trash enclosures (condition # 7).

Staff is recommending that the site plan be revised to show the drive drive-aisle being extended further west to facilitate cross-access along the Southern Avenue frontage to the adjacent parcel to the west of the site as previously approved (Z00-75) shown below (condition # 8).





CONCLUSION:

Staff recommends approval of DRB17-00160 to allow exposed perimeter neon lighting on clear anodized aluminum fascia on the proposed Andy's Frozen Custard at Greenfield and Southern Avenue with the following conditions:

CONDITIONS OF APPROVAL:

1. Compliance with the development as described in the Design Review Board staff report and as shown on the site plan and exterior elevations submitted.
2. Compliance with all requirements of DRB17-00160 and companion Administrative Site Plan review.
3. Compliance with all City development codes and regulations.
4. Compliance with all requirements of the Development and Sustainability, Engineering,

Transportation, and Solid Waste Departments.

5. Compliance with requirements of previously approved zoning case Z00-075 including Landscape Palette.
6. Install seating walls including 5' wide landscape yards along the drive thru lane in the patio area to the north side of the building.
7. Provide 5' wide landscape area between the pedestrian path and proposed trash enclosures.
8. Revise site plan to show the drive thru exit extended further west and connect to the driveway access from Southern Avenue just west of the property line as previously approved (Z00-75).
9. Provide an alternative paving material for crosswalks such as stamped or decorative concrete, pavers or similar finish (striping on asphalt is not acceptable).
10. If any component of the exposed neon lighting system becomes nonfunctional, neither the entire lighting system, nor any portion thereof, may be illuminated until the entire lighting system is repaired.
11. Signs (attached and detached monument signs including their size, area and location) needs separate approval process.

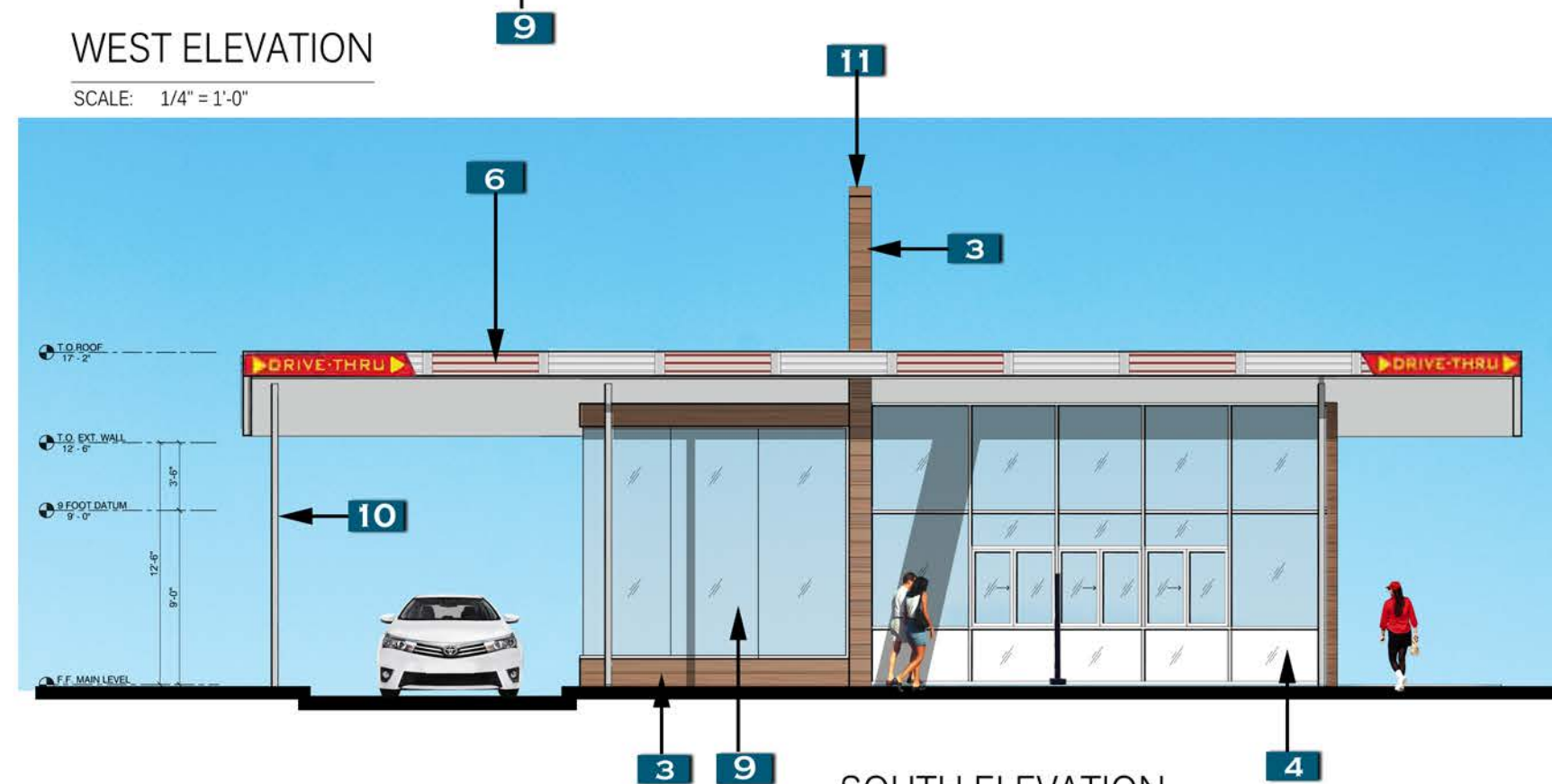


LEGEND:

- 1** SMOOTH FINISH CMU
INTEGRAL COLOR: "FUEGO RED"
BY SUPERLITE
- 2** ACCENT BAND 4" CMU
INTEGRAL COLOR: "BLACK CANYON"
BY SUPERLITE
- 3** FIBER CEMENT PANEL TYPE2:
NICHIIHA 5/8" VINTAGE WOOD PANELS
COLOR CEDAR 9" H.X 3/8" THK.
- 4** ANODIZED ALUMINUM STOREFRONT WITH CLEAR
INSULATED GLAZING . APPLY WHITE VINYL TO
BOTTOM WAINSCOT GLAZING
- 5** METAL CAP PAINTED "RUDDY OAK" DE5188
BY DUNN EDWARDS
- 6** PERIMETER NEON LIGHTING ON CLEAR ANODIZED
ALUMINUM FASCIA
- 7** "TREX" SYNTHETIC WOOD LOUVERS IN GALVANIZED
STEEL PAINTED FRAME
- 8** LIGHT GREY SINGLE PLY ROOFING MEMBRANE
- 9** STRUCTURAL GLAZED CURTAIN WALL WITH
BUTT GLAZED CORNER
- 10** METAL COLUMNS PAINTED "FORMAL GRAY"
BY DUNN EDWARDS
- 11** METAL CAP PAINTED COLOR "SUMMERVILLE"
DE6139 BY DUNN EDWARDS
- 12** DOOR PAINTED COLOR: "SUMMERVILLE" DE6139
BY DUNN EDWARDS

WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PAD DEVELOPMENT FOR
ANDY'S FROZEN CUSTARD - MESA
 1158 S. GREENFIELD RD.
 MESA, ARIZONA 85206

JOB NO: 1712705-01
 PROJECT MGR: BILL JEORLING
 DRAWN BY: ARCHICON
 CHECKED BY: J. PLANCK

NO.	REVISION	DATE

SHEET TITLE:
 PROPOSED ELEVATIONS



DR-4

ISSUE DATE: JULY 28, 2017

5055 E WASHINGTON STREET
SUITE 200
PHOENIX, ARIZONA 85034
(602) 222-4266
FAX (602) 279-4305
WWW.ARCHICON.COM

ARCHICON
Architecture & Interiors, L.C.

ARCHITECTURAL DESIGN REVIEW APPROVAL: TENANT/OWNER

PLEASE REVIEW CAREFULLY THE FOLLOWING SET OF DESIGN REVIEW DOCUMENTS PER THE REFINED PROJECT SCOPE AND ALL OTHER ITEMS ADDRESSED ON THESE PLANS. ANY REVISION HENCEFORTH MAY BE SUBJECT TO ADDITIONAL FEES INCURRED BY THE TENANT/OWNER, INCLUDING BUT NOT LIMITED TO, DESIGN FEES, CONSTRUCTION COSTS AND SUBSEQUENT EXTENSION OF THE CONSTRUCTION COMPLETION DATE. PLEASE SIGN BELOW WITH YOUR APPROVAL.

APPROVED: _____ DATE: _____

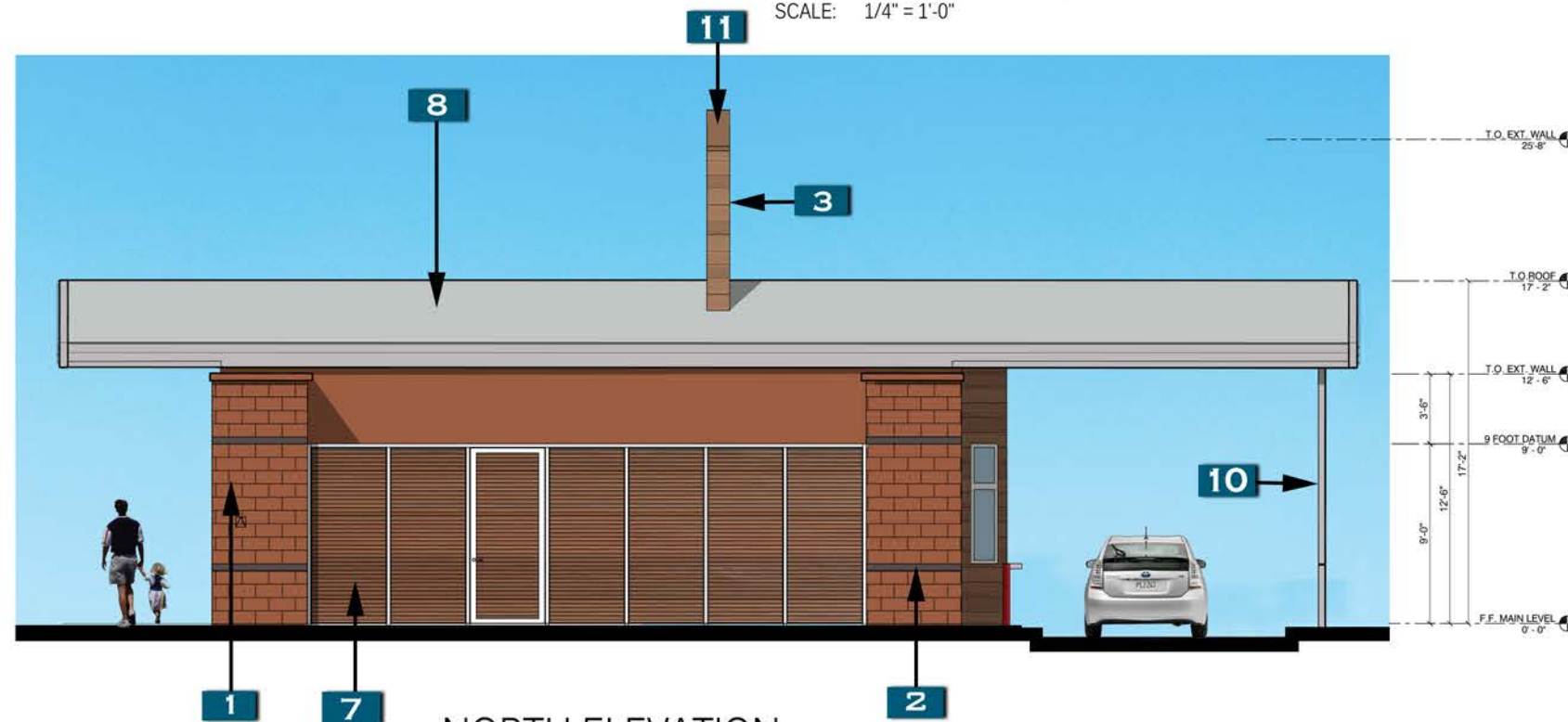
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SCALE: 1/4" = 1'-0"

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PAD DEVELOPMENT FOR
ANDY'S FROZEN CUSTARD - MESA
1158 S. GREENFIELD RD.
MESA, ARIZONA 85206

JOB NO: 1712705-01
PROJECT MGR: BILL JEORLING
DRAWN BY: ARCHICON
CHECKED BY: J. PLANCK

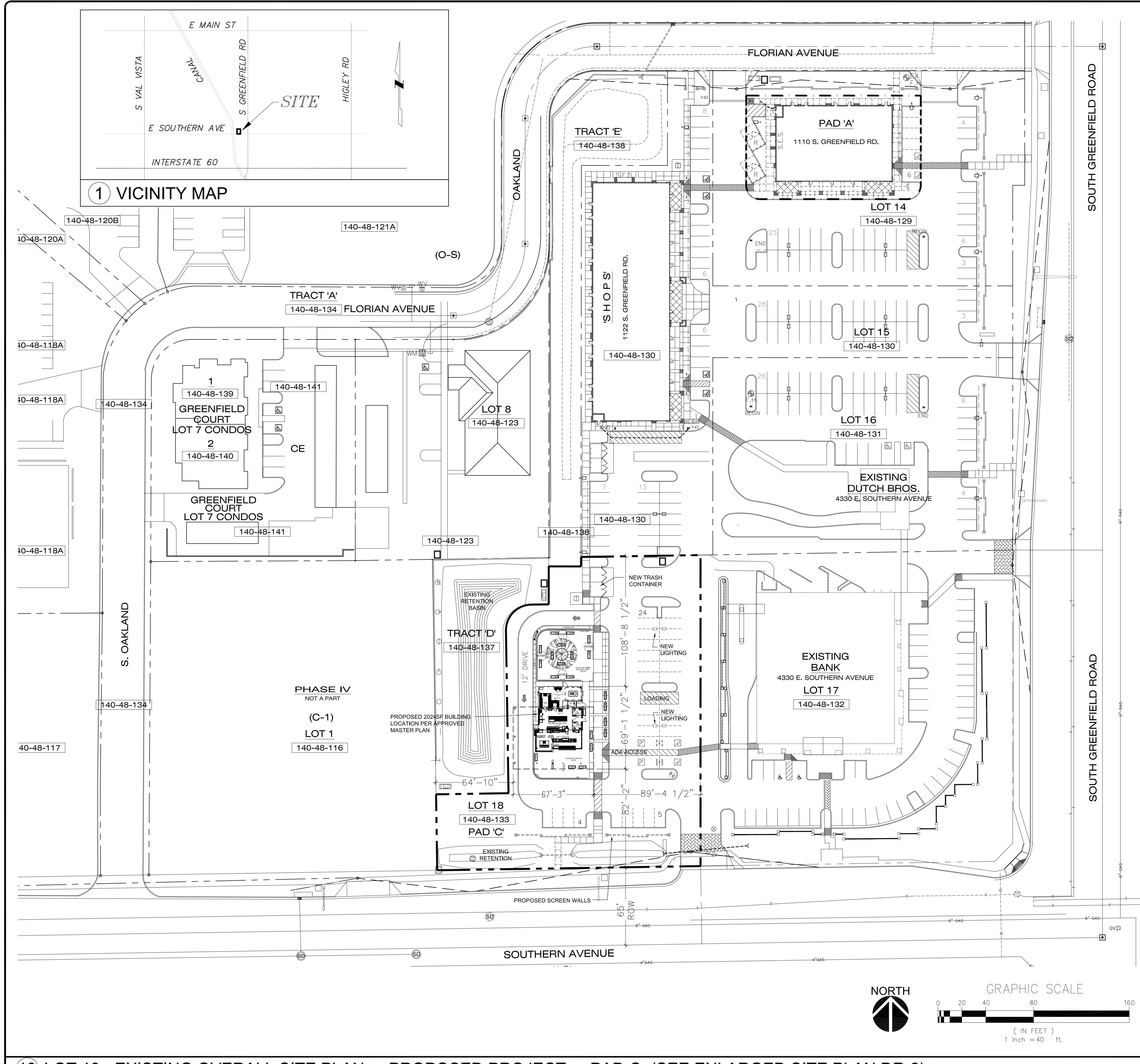
NO.	REVISION	DATE

SHEET TITLE:
PROPOSED ELEVATIONS



DR-5

ISSUE DATE: JULY 26, 2017



TENANT:	ANDY'S FROZEN CUSTARD
ADDRESS:	GREENFIELD COURT 1158 S. GREENFIELD ROAD MESA, AZ 85206
CURRENT PROPERTY OWNER:	IN CARE OF: JIM KARCHER CLASSEN ASSET MANAGEMENT LLC. 5100 N. CLASSEN, SUITE# 500 OKLAHOMA CITY, OKLAHOMA, 73118
ANDY'S FROZEN CUSTARD:	ANDY'S FROZEN CUSTARD 338 N. BOONVILLE AVE, SPRINGFIELD, MO, 65806
PROJECT DESCRIPTION:	1,414 SQ. FT. FRONT OF HOUSE, BACK OF HOUSE, VESTIBULE, MEN RESTROOM, WOMEN RESTROOM, OFFICE 610 SQ. FT. WALK-IN FREEZER, WALK-IN COOLER, MECHANICAL AREA 980 COVERED PATIO AREA / 2,000 BACK PATIO DINING
APN#:	140-48-133
ZONING:	LC - LIMITED COMMERCIAL
MCR#:	643-09
LOT DESCRIPTION:	GREENFIELD COURT
TOTAL LOT SIZE:	44,152 SQ. FT. (1.0135904 ACRES)
LOT #:	18
LOCAL JURISDICTION:	MESA, AZ.
S/T/R:	28 1N 6E
PROPOSED USE:	RESTAURANT
CONSTRUCTION TYPE:	VB
SPRINKLERED:	YES
OCCUPANCY GROUP:	B - BUSINESS = A-2 ASSEMBLY (RESTAURANT) LESS THAN 50 OCCUPANCY
ALLOWABLE SQUARE FOOTAGE:	6,000 SQ. FT. (1-STORY)
BUILDING INDOOR AREA:	1,414 SQ. FT.
(ACCESSORY STORAGE /MECH. AREA):	610 SQ. FT.
TOTAL BUILDING AREA:	2,024 SQ. FT.
COVERED PATIO AREA:	980 SQ. FT.
BACK PATIO DINING AREA:	2,000 SQ. FT.
TOTAL OUTDOOR DINING AREA:	2,980 SQ. FT.
PROPOSED SITE AREA USED:	44,152 SQ. FT. / 5,004 SQ. FT. SITE AREA USED
LOT COVERAGE:	8.80%
PARKING REQUIRED:	ANDY'S FROZEN CUSTARD 1,414 SQ. FT. INDOOR AREA + 2,980 SQ. FT. OUTDOOR DINING AREA 1 PER 300 SQ. FT. ACCESSORY SERVICE AREA = 2 PARKING SPACES 1 PER 100 SQ. FT. 1,414 INDOOR AREA = 14 PARKING SPACES 1 PER 200 SQ. FT. 2,980 OUTDOOR DINING AREA = 15 PARKING SPACES
[TABLE 11-32-3.A]	
TOTAL PARKING REQUIRED:	30 - PARKING SPACES REQUIRED
TOTAL PARKING - 125%:	34 - PARKING SPACES (MAXIMUM)
TOTAL A.D.A. ACCESSIBLE:	4 - PARKING SPACES PROPOSED
TOTAL SITE PROPOSED PARKING:	33 - TOTAL PARKING SPACES PROPOSED
CITY OF MESA, BUILDING CODES:	
2006 - INTERNATIONAL BUILDING CODE (IBC) WITH BUILDING CODE AMENDMENTS	
2006 - INTERNATIONAL MECHANICAL CODE (IMC) WITH BUILDING CODE AMENDMENTS	
2006 - INTERNATIONAL PLUMBING CODE (IPC) WITH BUILDING CODE AMENDMENTS	
2005 - NATIONAL ELECTRIC CODE (NEC) - NFPA-70	
2006 - INTERNATIONAL FIRE CODE (IFC) WITH BUILDING CODE AMENDMENTS	
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2003 - INTERNATIONAL CODE COUNCIL / ANSI A 117.1	
2010 - A.D.A. & A.D.A. ACCESSIBILITY GUIDELINES (ADAAG) WITH BUILDING CODE AMENDMENTS	
OCCUPANCY LOAD CALCULATIONS: (SEE EGRESS PLAN & NOTES - SHEET T003)	
TOTAL OCCUPANT CODE:	PER 2006 I.B.C. (TABLE 1004.1.1)
OCCUPANCY:	A-2
BUSINESS AREA 1,414 S.F. / 200:	14 OCCUPANTS
ACCESSORY STORAGE AREA 610 S.F./300:	2 OCCUPANTS
STANDING SPACE 980 S.F. / 15:	5 NET STANDING SPACE
BENCH FIXED:	7 NET FIXED BENCH SPACE
TOTAL OCCUPANTS:	28 OCCUPANTS W/(4) A.D.A.
EXIT ACCESS:	
REQUIRED EXITS:	2 EXIT
PROVIDED EXITS:	3 EXITS
EXIT REQUIREMENTS:	
(5 X 0.2)	
EXIT WIDTH REQUIRED:	36" MINIMUM
EXIT WIDTH PROVIDED:	36"
INTENT:	
THIS PROJECT WILL CONSIST OF A NEW PROPOSED STRUCTURE 3,004 SQ. FT. ANDY'S FROZEN CUSTARD RESTAURANT BUILDING. OF THIS THERE IS 1,414 SQ. FT. FRONT OF HOUSE, BACK OF HOUSE, VESTIBULE, MEN RESTROOM, WOMEN RESTROOM, OFFICE. IN ADDITION THERE IS A 610 SQ. FT. ACCESSORY WALK-IN FREEZER, WALK-IN COOLER, MECHANICAL AREA. ALSO THERE IS A 980 EXTERIOR COVERED PATIO AREA WITH 2 FIXED BENCHES. THE NEW BUILDING PAD'S ARCHITECTURE IS INTENDED TO INTRODUCE THE CORPORATE IDENTITY OF ANDY'S FROZEN CUSTARD WHICH WILL FOLLOW THE ARCHITECTURAL DESIGN OF THE EXISTING GREENFIELD COURT CENTER. ALL DRINK AND FOOD ITEMS ORDERED AND PAID FOR AT THE WALK-UP OR DRIVE-UP WINDOW FROM OUTSIDE OF THE PROPOSED ANDY'S FROZEN CUSTARD STRUCTURE. ALL FOOD ITEMS COME PREPACKAGED FOR SALE. FOOD PREPARATION IS PERFORMED INSIDE OF THE PROPOSED STRUCTURE.	
18 SITE DATA & PROJECT INFORMATION	

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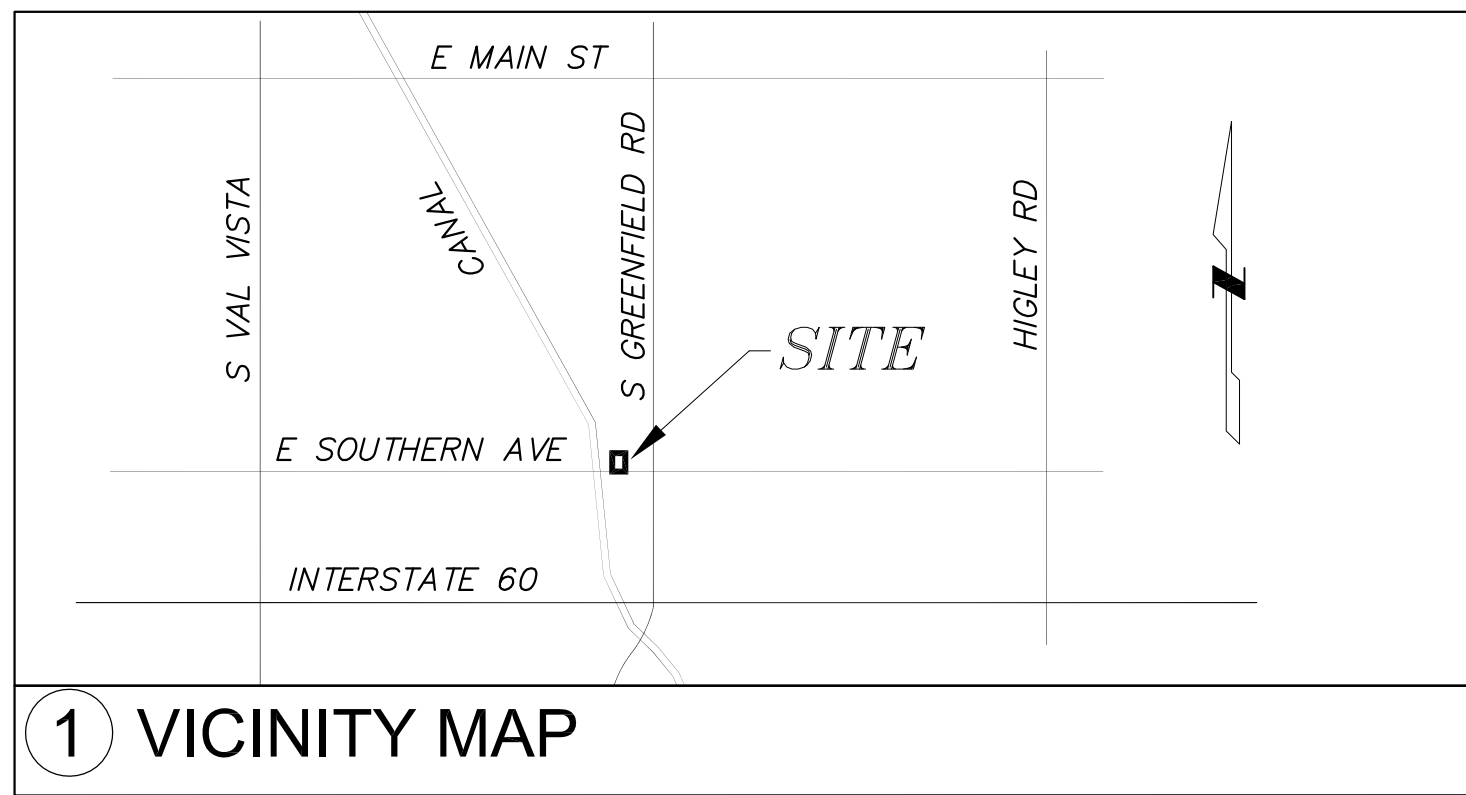
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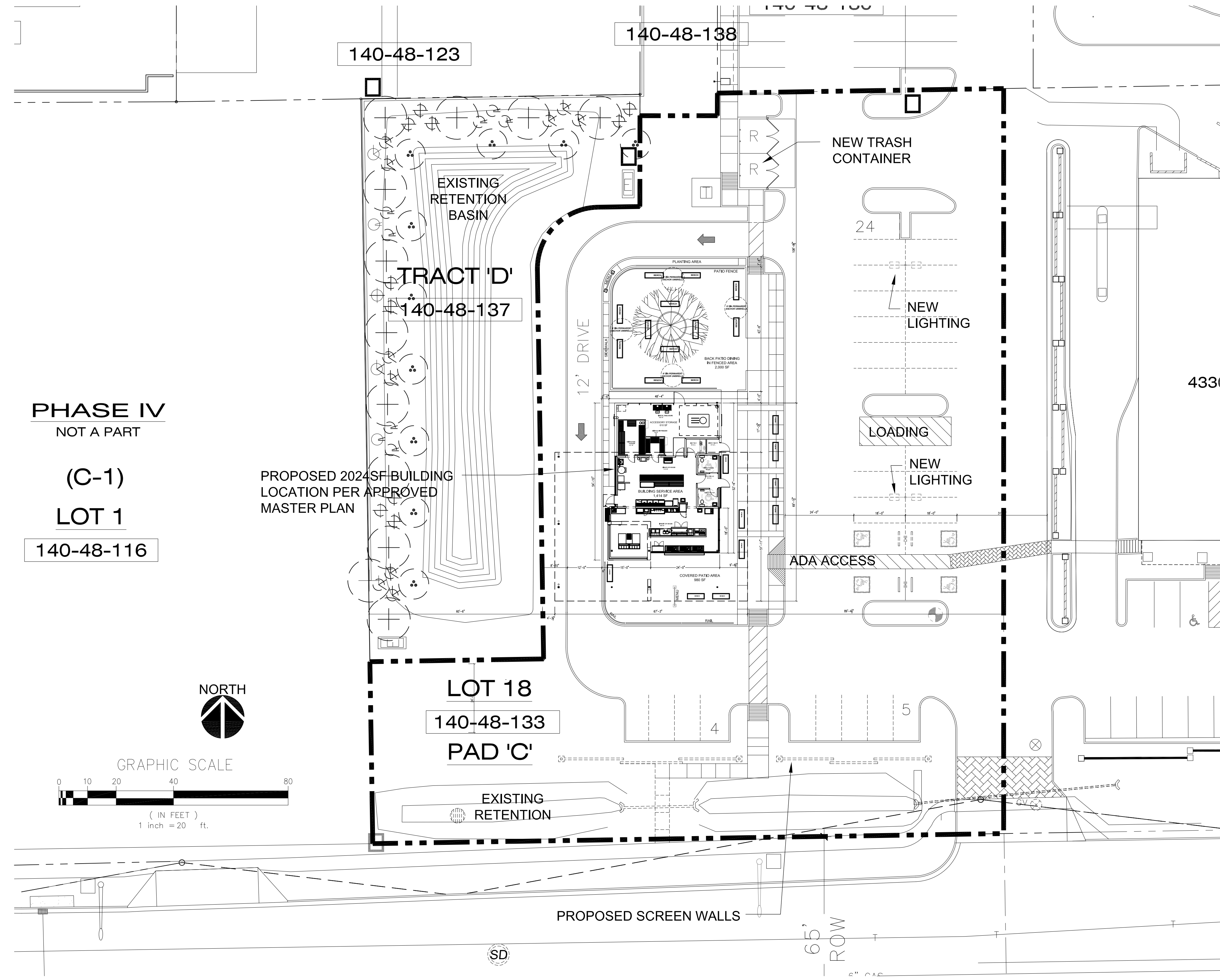
SHEET TITLE:
OVERALL SITE PLAN

DR-1
 EXPIRES: 12/31/2018

ISSUE DATE: JULY 28, 2017



1 VICINITY MAP



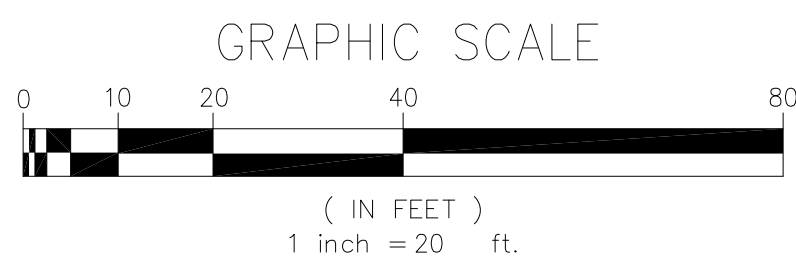
PHASE IV
NOT A PART

(C-1)

LOT 1

140-48-116

PROPOSED 2024SF BUILDING
LOCATION PER APPROVED
MASTER PLAN



PROPOSED SCREEN WALLS

65'
ROW

19 LOT 18 - ENLARGED AREA SITE PLAN - PROPOSED PROJECT - PAD C

1" = 20' - 0"

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OCCUPANCY LOAD CALCULATIONS:

(SEE EGRESS PLAN & NOTES - SHEET T003)

TOTAL OCCUPANT CODE:

PER 2006 I.B.C. (TABLE 1004.1.1)

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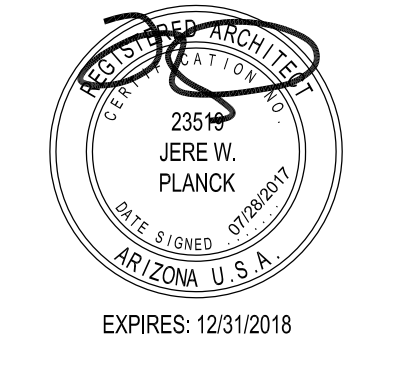
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MESA, ARIZONA 85206

JOB NO:	1712705-01	
PROJECT MGR:	MESA, AZ	
DRAWN BY:	ARCHICON	
CHECKED BY:	J. PLANCK	
NO.	REVISION	DATE

SHEET TITLE:
PROPOSED SITE PLAN



DR-2

ISSUE DATE: JULY 28, 2017

24 CITY APPROVAL



ARCHICON
Architecture & Interiors, L.C.

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1158 S. GREENFIELD RD.
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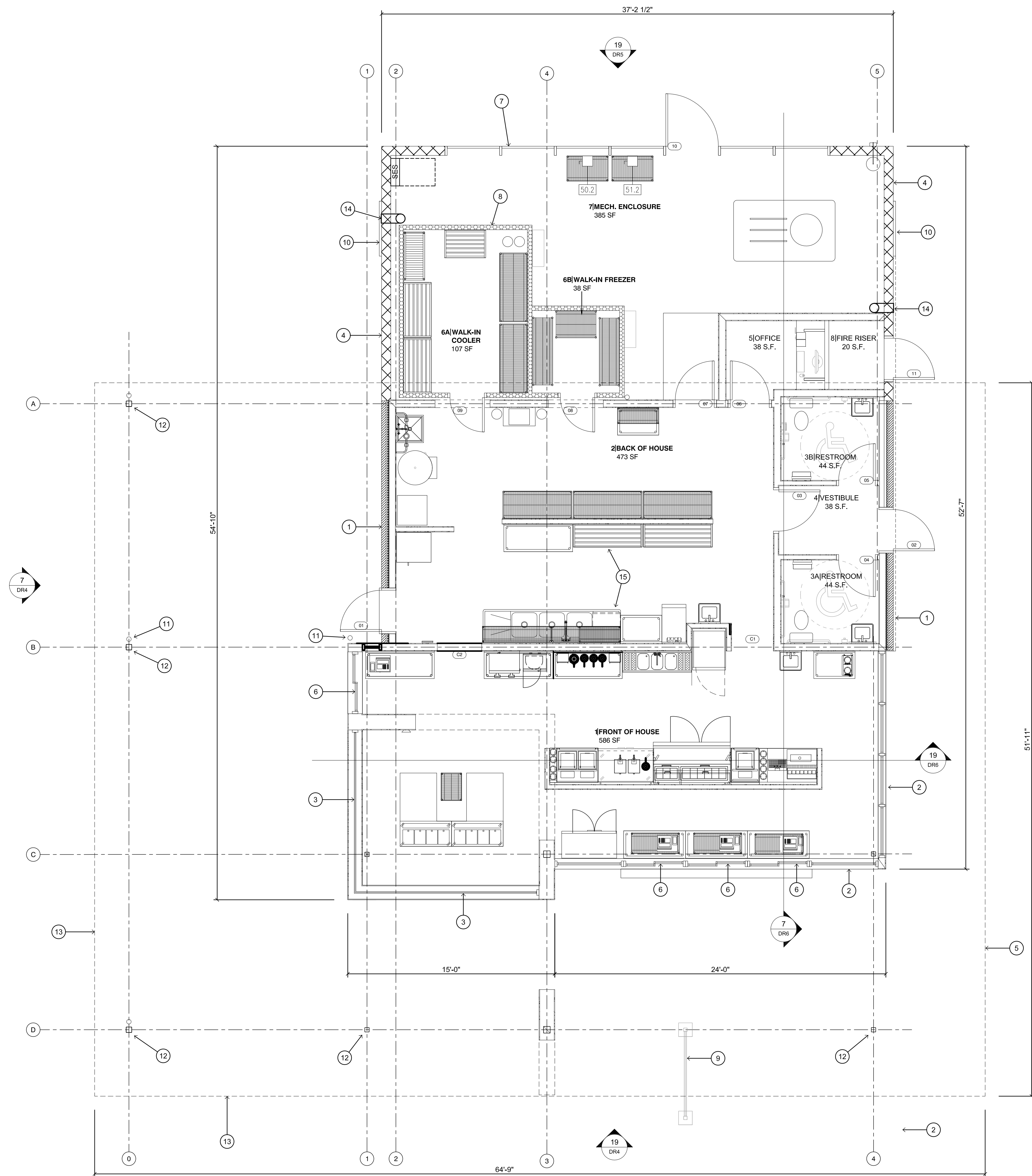
NO.	REVISION	DATE

SHEET TITLE:
FLOOR PLAN



DR-3

ISSUE DATE: JULY 28, 2017



1. EXTERIOR FINISH SIDING (NICHHA VINTAGE WOOD PANELS) ON FRAMED WALL
2. KAWNEER STOREFRONT - TRIFAB 601T WITH 6" FRAME
3. KAWNEER CURTAINWALL - 1620 SSG WITH 6" INSIDE FRAME
4. CMU WALL WITH INTEGRAL COLOR
5. ROOF WITH SQUARE CUT EDGE
6. SERVICE WINDOW - EASI SERV PRODUCTS INC. - S.S SERIES IN-LINE SIDE SLIDER (PROVIDED BY OWNER)
7. TREX SYNTHETIC WOOD LOUVER IN STEEL FRAME MECHANICAL SCREEN
8. WALK-IN COOLER / FREEZER
9. MENU BOARD
10. ANDY'S MENU AND SIGNAGE - PER SEPERATE PERMIT
11. STEEL PIPE BOLLARD
12. STEEL COLUMN PAINTED - PER STRUCTURAL
13. PERIMETER NEON LIGHTING AT ROOF EDGE ON ANODIZED ALUMINUM FASCIA
14. DOWNSPOUT WITH DAYLIGHT UNDER SIDEWALK
15. KITCHEN EQUIPMENT - TYP.

(18) KEYNOTES

(24) CITY APPROVAL

(19) FLOOR PLAN

SCALE: 1/4" = 1'-0"



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5055 E WASHINGTON STREET
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PAD DEVELOPMENT FOR
ANDY'S FROZEN CUSTARD - MESA
1158 S. GREENFIELD RD.
MESA, ARIZONA 85206

JOB NO: 1712705-01
PROJECT MGR: BILL JEORLING
DRAWN BY: ARCHICON
CHECKED BY: J. PLANCK

NO.	REVISION	DATE

SHEET TITLE:
PROPOSED ELEVATIONS



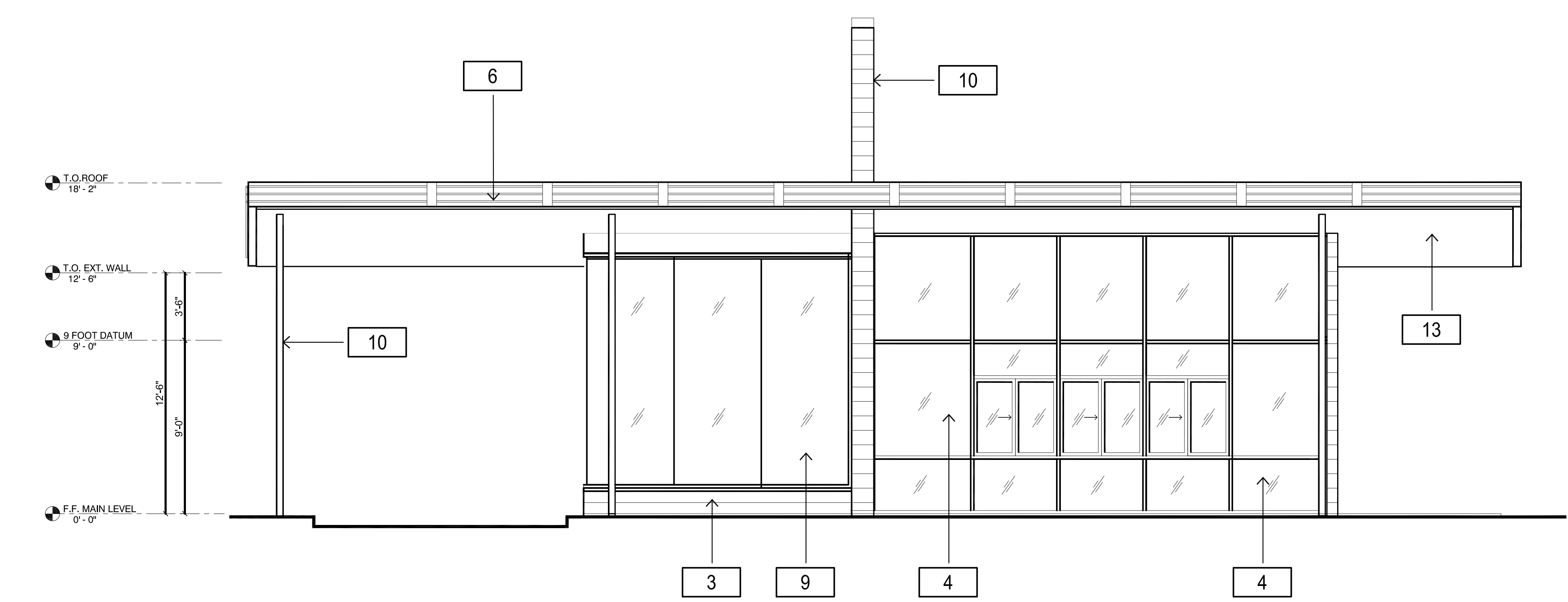
DR-4

ISSUE DATE: JULY 28, 2017



7 WEST ELEVATION

1/4" = 1" - 0"



19 SOUTH ELEVATION

1/4" = 1" - 0"

- 1 SMOOTH FINISH CMU
INTEGRAL COLOR "FUEGO RED"
BY SUPERLITE
- 2 ACCENT BAND 4" CMU
INTEGRAL COLOR "BLACK CANYON"
BY SUPERLITE
- 3 FIBER CEMENT PANEL TYPE 2
NICHHA 5/8" VINTAGE WOOD PANELS
COLOR CEDAR 9"H
- 4 ANODIZED ALUMINUM STOREFRONT WITH
CLEAR INSULATED GLAZING. APPLY WHITE VINYL
TO INSIDE FACE BOTTOM WAINSCOT GLAZING
- 5 METAL CAP PAINTED "ROXY BROWN" DE6084
BY DUNN EDWARDS
- 6 PERIMETER NEON LIGHTING ON CLEAR ANODIZED
ALUMINUM FASCIA
- 7 "Trex" SYNTHETIC WOOD LOUVER IN GALVANIZED
STEEL PAINTED FRAME
- 8 LIGHT GREY SINGLE PLY ROOFING MEMBRANE
- 9 STRUCTURAL GLAZED CURTAIN WALL WITH
BUTT GLAZED FACE AND CORNER
- 10 STEEL COLUMNS PAINTED
- 11 METAL CAP PAINTED
COLOR "SUMMERVILLE" DE6139
BY DUNN EDWARDS
- 12 HOLLOW METAL DOOR PAINTED
COLOR "SUMMERVILLE" DE6139
BY DUNN EDWARDS
- 13 DIRECT APPLIED FINISH
SMOOTH FINISH BY STO
RANDOM ARRANGED FLOURESCENT TUBE LIGHTING

18 KEYNOTES

24 CITY APPROVAL



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PAD DEVELOPMENT FOR
ANDY'S FROZEN CUSTARD - MESA
1158 S. GREENFIELD RD.
MESA, ARIZONA 85206

JOB NO: 1712705-01
PROJECT MGR: BILL JEORLING
DRAWN BY: ARCHICON
CHECKED BY: J. PLANCK

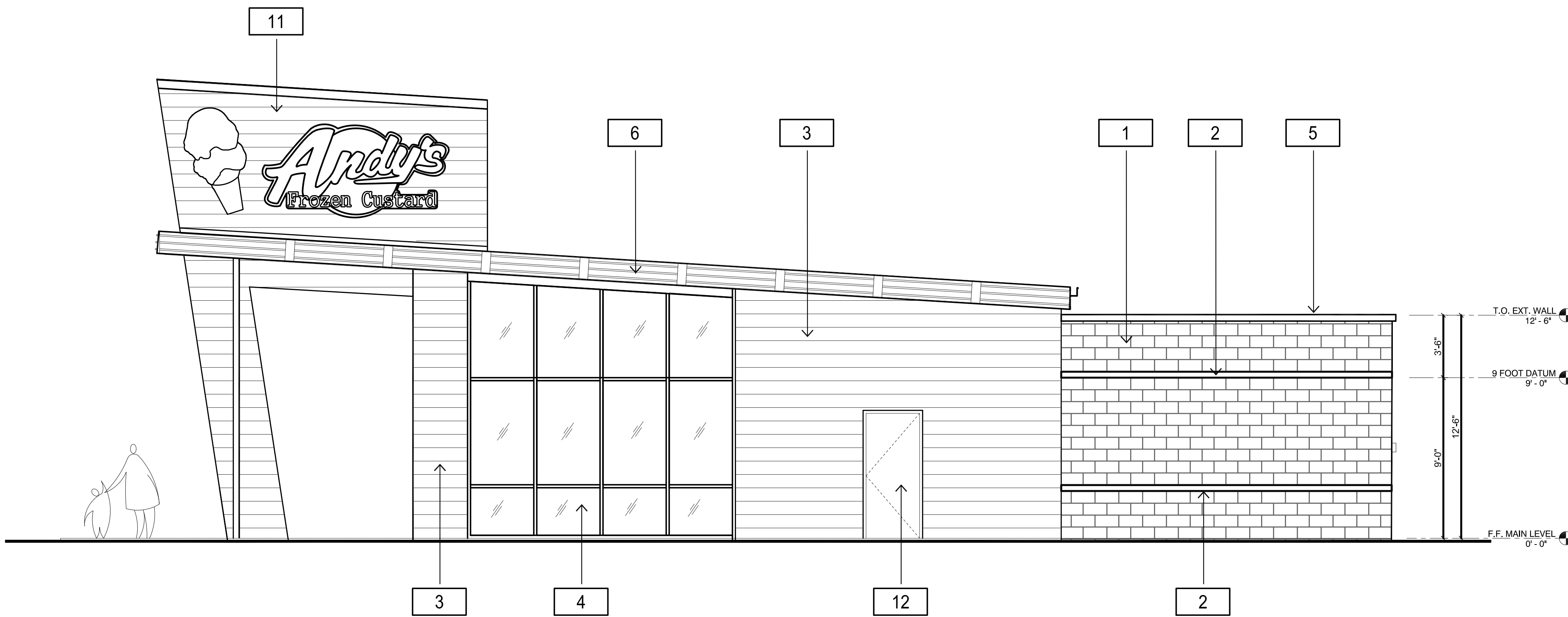
NO.	REVISION	DATE

SHEET TITLE:
PROPOSED ELEVATIONS



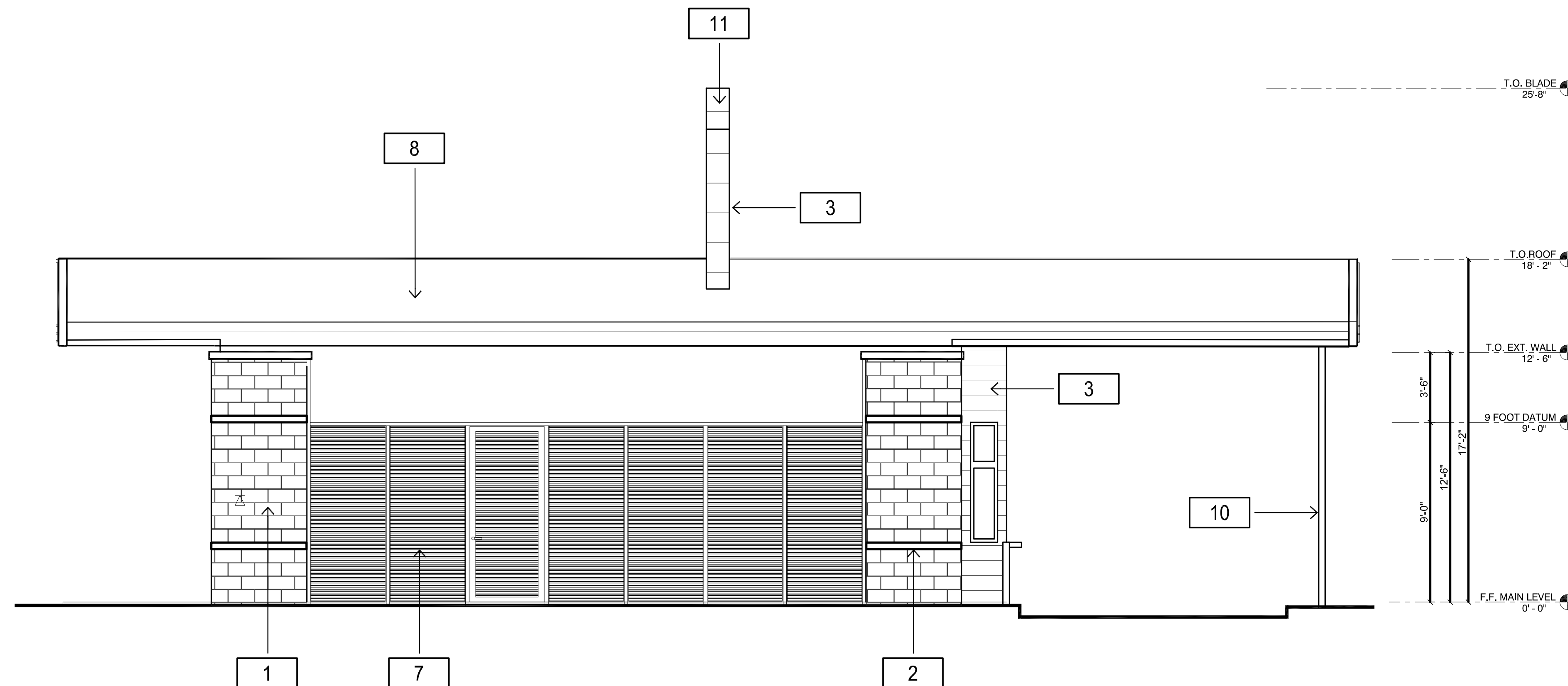
DR-5

ISSUE DATE: JULY 28, 2017



7 EAST ELEVATION

1/4" = 1'-0"



19 NORTH ELEVATION

1/4" = 1'-0"

- 1 SMOOTH FINISH CMU
INTEGRAL COLOR "FUEGO RED"
BY SUPERLITE
- 2 ACCENT BAND 4" CMU
INTEGRAL COLOR "BLACK CANYON"
BY SUPERLITE
- 3 FIBER CEMENT PANEL TYPE 2
NICHHA 5/8" VINTAGE WOOD PANELS
COLOR CEDAR 9"H
- 4 ANODIZED ALUMINUM STOREFRONT WITH
CLEAR INSULATED GLAZING. APPLY WHITE VINYL
TO INSIDE FACE BOTTOM WAINSCOT GLAZING
- 5 METAL CAP PAINTED "ROXY BROWN" DE6084
BY DUNN EDWARDS
- 6 PERIMETER NEON LIGHTING ON CLEAR ANODIZED
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STEEL PAINTED FRAME
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- 10 STEEL COLUMNS PAINTED
- 11 METAL CAP PAINTED
COLOR "SUMMERVILLE" DE6139
BY DUNN EDWARDS
- 12 HOLLOW METAL DOOR PAINTED
COLOR "SUMMERVILLE" DE6139
BY DUNN EDWARDS
- 13 DIRECT APPLIED FINISH
SMOOTH FINISH BY STO
RANDOM ARRANGED FLOURESCENT TUBE LIGHTING

18 KEYNOTES

24 CITY APPROVAL

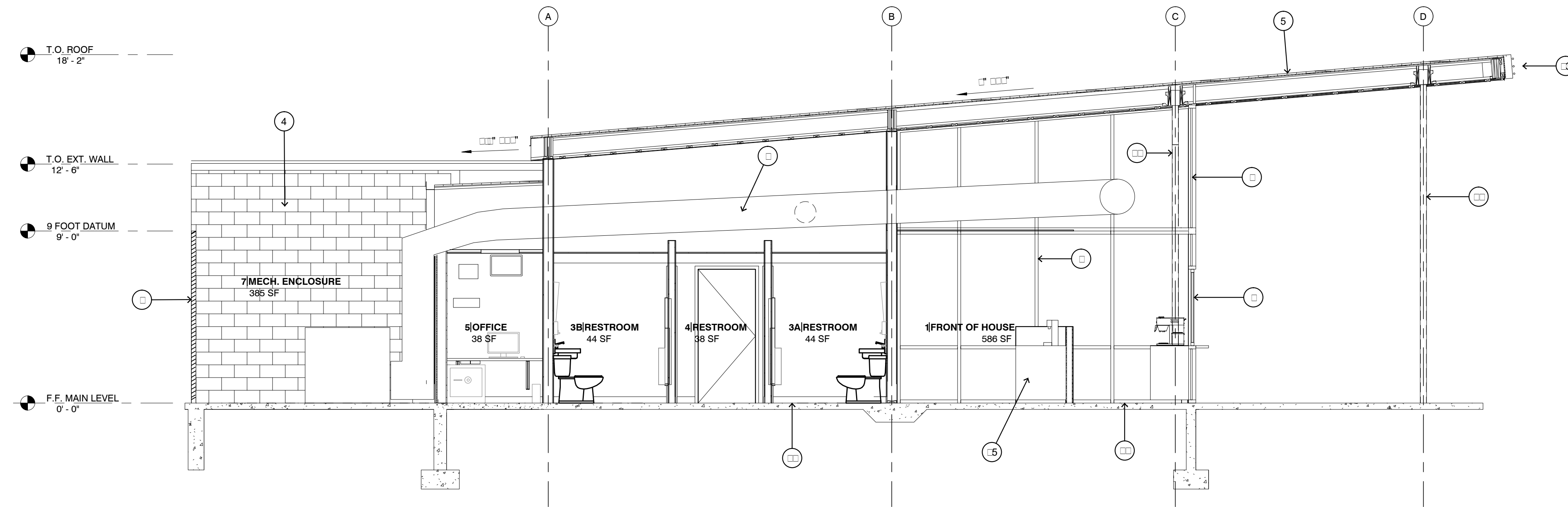


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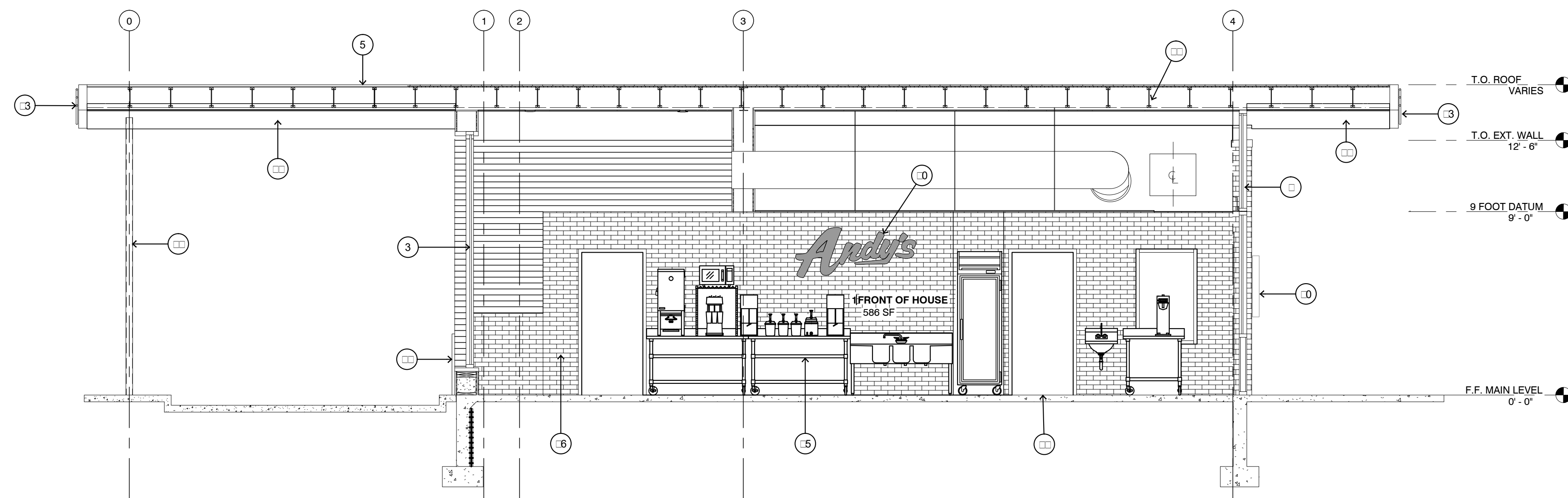
PROVIDE EQUIPMENT FOR
INDY'S FRONT END
MESSENGER
5 S. GREENFIELD RD.
MESA, ARIZONA 85206



- 1. INTERIOR FINISH SIDING IN HIGH QUALITY PINE ON FRAMED
- 2. NEER STAIRFRONT TRAFFIC 60" TH 6" FRAME
- 3. NEER CURTAINING 60" SS 6" INSIDE FRAME
- 4. MOUNTED INTERIOR
- 5. 60" HITE TP ROOFING ON ROOF INSULATION PROVIDE SECURE OUT EDGE
- 6. SERVICE INDICATOR PRODUCTS IN CS SERIES IN INSIDE
SLOPER PROVIDED BY OWNER
- 7. TRE SYNTHETIC COVER IN STEEL FRAME MESH SCREEN
- 8. MESH DUCT CEILING POINTED HITE
- 9. MENU BOARD
- 10. INDY'S MENU AND SIGNAGE PER SEPERATE PERMIT
- 11. STEEL PIPE BOARD
- 12. STEEL COLUMN POINTED SEE STRUCTURE
- 13. PERIMETER NEON LIGHTING AT ROOF EDGE ON ENDED ALUMINUM FAS
- 14. DRAINSPOUT WITH DRYHT UNDER SIDE
- 15. EQUIPMENT TYP.
- 16. TILE CERAMIC IN RED WHITE RANDOM PATTERN
- 17. TRUSS PER STRUCTURE
- 18. DIRECT APPLIED FINISH WITH FINISH MANUFACTURED BY ST
CONCRETE WITH POLISHED FINISH TOP INTERIOR FOUNDATION
DRAINAGES PER STRUCTURE

SECTION

4' 0" 0"



NOTES

SECTION

4' 0" 0"

4. CITY APPROVAL

JOB NO: 050
PROJECT MGR: JERON
DRAWN BY: ARCHON
CHECKED BY: J. P. N.

NO.	REVISION	DATE

SHEET TITLE:
SECTION

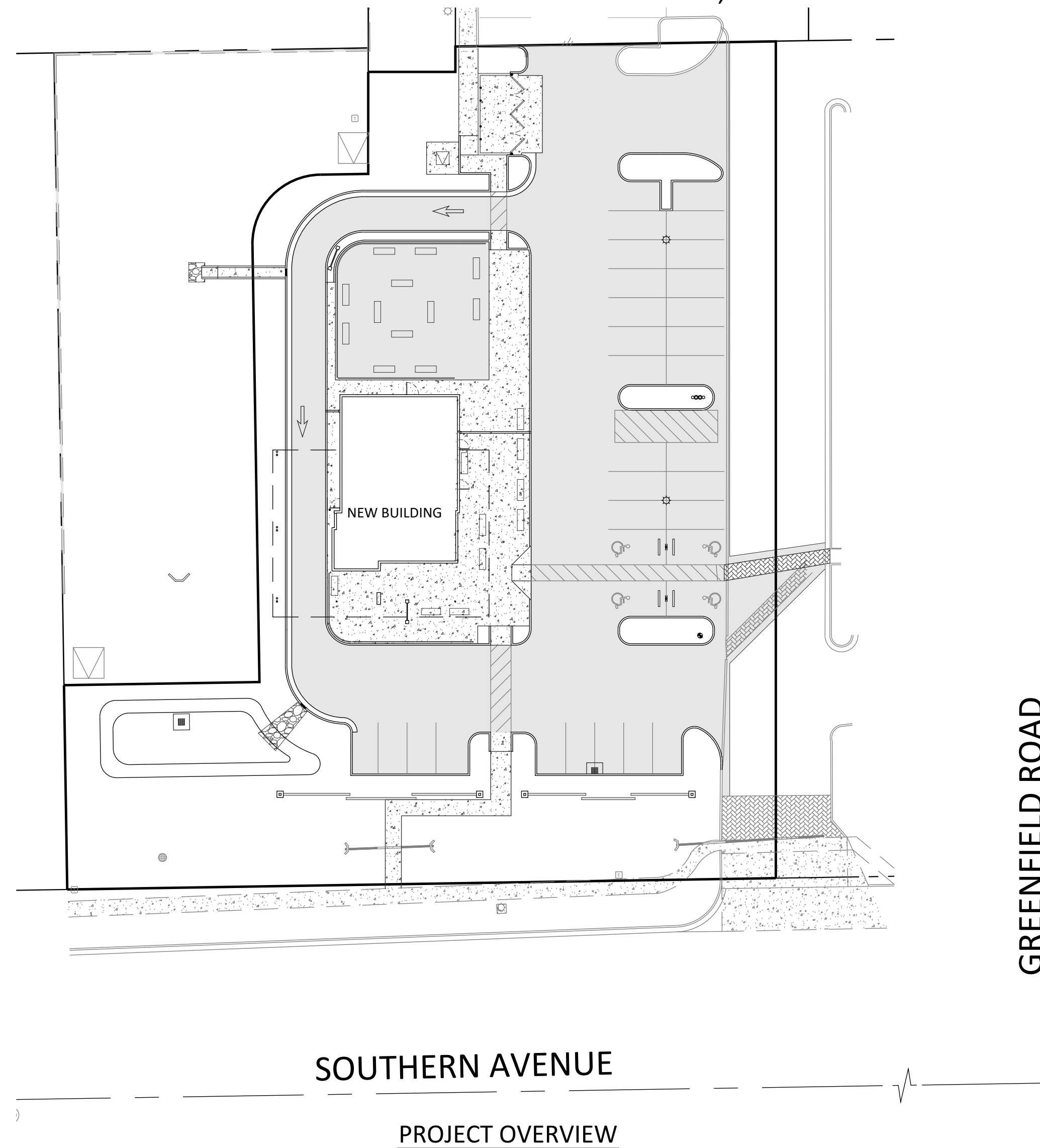


DR 6

ISSUE DATE: JULY

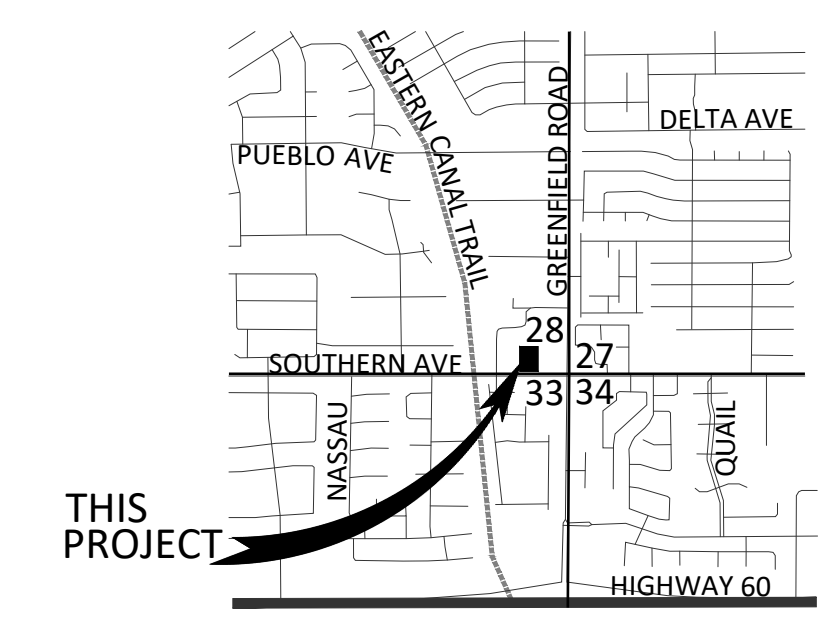
PRELIMINARY IMPROVEMENT PLAN for ANDY'S FROZEN CUSTARD - MESA

1158 SOUTH GREENFIELD ROAD, MESA, ARIZONA
A PORTION SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE
GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA



PROJECT OVERVIEW

SCALE: 1"=30'



IN THE SE 1/4 OF THE SE 1/4 OF SECTION 28,
T. 1 N., R. 6 E., G.&S.R.M., CITY OF MESA,
MARICOPA COUNTY, ARIZONA

LOCATION MAP
NORTH
3" = 1 MILE

LEGEND

---	RIGHT-OF-WAY	⊙	NEW SEWER CLEANOUT
---	PROJECT BOUNDARY LINE	⊙	NEW WATER VALVE
---	OTHER PARCEL LINE	W	NEW WATER METER
---	ROADWAY CENTERLINE	BF	NEW BACKFLOW PREVENTER
---	SECTION LINE	⊙	NEW FIRE HYDRANT
---	EXISTING EASEMENT	⊙	NEW FIRE BACKFLOW PREVENTER
---	NEW EASEMENT	⊙	NEW SITE LIGHT
2321	EXISTING CONTOUR	⊙	SPOT ELEV. (EXIST. GRADE)
2580	NEW CONTOUR	⊙	SPOT ELEV. (NEW GRADE)
---	EXISTING CURB	R.O.W.	RIGHT-OF-WAY
---	EXISTING PAINT STRIPE	(R)	RECORDED VALUE
---	EXISTING PAVEMENT EDGE	(M)	MEASURED VALUE
---	EXISTING CONCRETE	P	PAVEMENT (ASPHALT)
---	EXISTING WALL	C	CONCRETE
---	NEW CURB	TC	TOP OF CURB
---	NEW PAINT STRIPE	FG	FINISHED GRADE
---	NEW ASPHALT	GB	GRADE BREAK
---	NEW CONCRETE	FFE	FINISHED FLOOR ELEVATION
---	NEW RIP RAP		
---	NEW WALL		
---	EXISTING SEWER MAIN		
---	EXISTING WATER MAIN		
---	EXISTING STORM DRAIN PIPE		
---	NEW SEWER MAIN		
---	NEW WATER MAIN		
---	NEW FIRE SERVICE		
---	NEW STORM DRAIN PIPE		
⊙	EXISTING SEWER MANHOLE		
⊙	EXISTING SEWER CLEANOUT		
⊙	EXISTING WATER VALVE		
⊙	EXISTING FIRE HYDRANT		
⊙	EXISTING TRANSFORMER		

UTILITIES

WATER: CITY OF PHOENIX
SEWER: CITY OF PHOENIX
ELECTRIC: SALT RIVER PROJECT
GAS: SOUTHWEST GAS
TELEPHONE: CENTURY LINK
CABLE: COX COMMUNICATIONS

OWNER/DEVELOPER

NAME
ADDRESS
CITY, STATE 85XXX
PH: X-X-X
ATTN: NAME

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PH: 623-282-2498
ATTN: DERICK SCHUMACHER/JEFF HUNT

ARCHITECT

ARCHITECT
ADDRESS
CITY, STATE 85XXX
PH: X-X-X
ATTN: NAME

SHEET INDEX

1. COVER SHEET
2. GRADING AND DRAINAGE PLAN

PROJECT INFORMATION

- PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW FREE-STANDING DRIVE-THRU RESTAURANT BUILDING WITH THE REQUIRED PARKING, UTILITY, AND DRAINAGE IMPROVEMENTS.
- ADDRESS:
1158 SOUTH GREENFIELD ROAD
MESA, ARIZONA 85206

APN: 140-48-133
- ZONING: LC
- SITE AREA:
TOTAL AREA: 44,152 SF (1.01 AC)
DISTURBED AREA: 33,280 (0.76 AC)

DRAINAGE STATEMENT

- SITE IS IN A SPECIAL FLOOD HAZARD AREA - NO
- OFFSITE FLOWS AFFECT THIS SITE - NO
- RETENTION PROVIDED IS 100-YR. 2-HR
- EXTREME STORM OUTFALLS THE SITE AT THE SOUTHWEST CORNER AT THE ESTIMATED ELEVATION OF 1287.00

FLOODPLAIN INFORMATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2288M, DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (SHADED). AREAS OF 0.2% ANNUAL CHANCE; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

LEGAL DESCRIPTION

LOT 18 OF GREENFIELD COURT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 643 OF MAPS, PAGE 9 AND AFFIDAVIT OF CHANGE RECORDED SEPTEMBER 20, 2004 IN RECORDING NO. 2004-1094839.

SURVEY NOTES

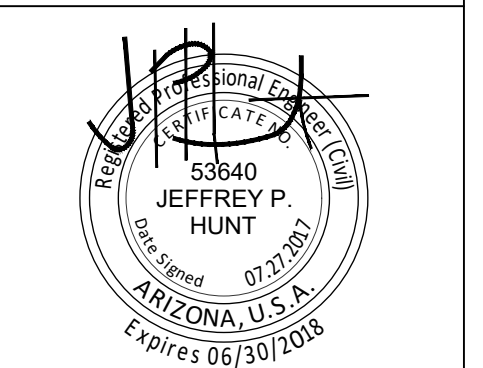
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
CLOUSE ENGINEERING, INC.
3010 EAST SHEA BOULEVARD
SCOTTSDALE, ARIZONA 85254
PH: (602) 395-9300
CONTACT: ROBERT J. BLAKE, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE SOUTH LINE OF THE SOUTHEAST QUARTER SECTION 28, ALSO BEING THE MONUMENT LINE OF SOUTHERN AVENUE USING A BEARING OF NORTH 89°05'05" EAST PER THE PLAT OF GREENFIELD COURT, AS RECORDED IN BOOK 643 OF MAPS, PAGE 9, M.C.R.
- THE BASIS OF ELEVATION FOR THE PROJECT WAS NOT PROVIDED.

BENCHMARK

BENCHMARK FOR ELEVATIONS NOT PROVIDED TO CYPRESS CIVIL DEVELOPMENT. TOPOGRAPHY SHOWN WAS PROVIDED TO CYPRESS CIVIL DEVELOPMENT AS PRESENTED HEREIN AND PREPARED BY CLOUSE ENGINEERING, INC.

CYPRESS CIVIL DEVELOPMENT
strength + sustainability
4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

CYPRESS PROJECT NO: 17.063



NO.	DATE	REVISION

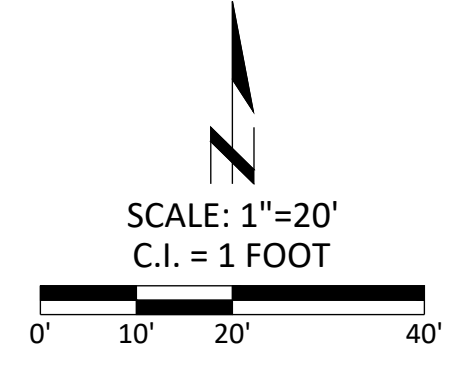
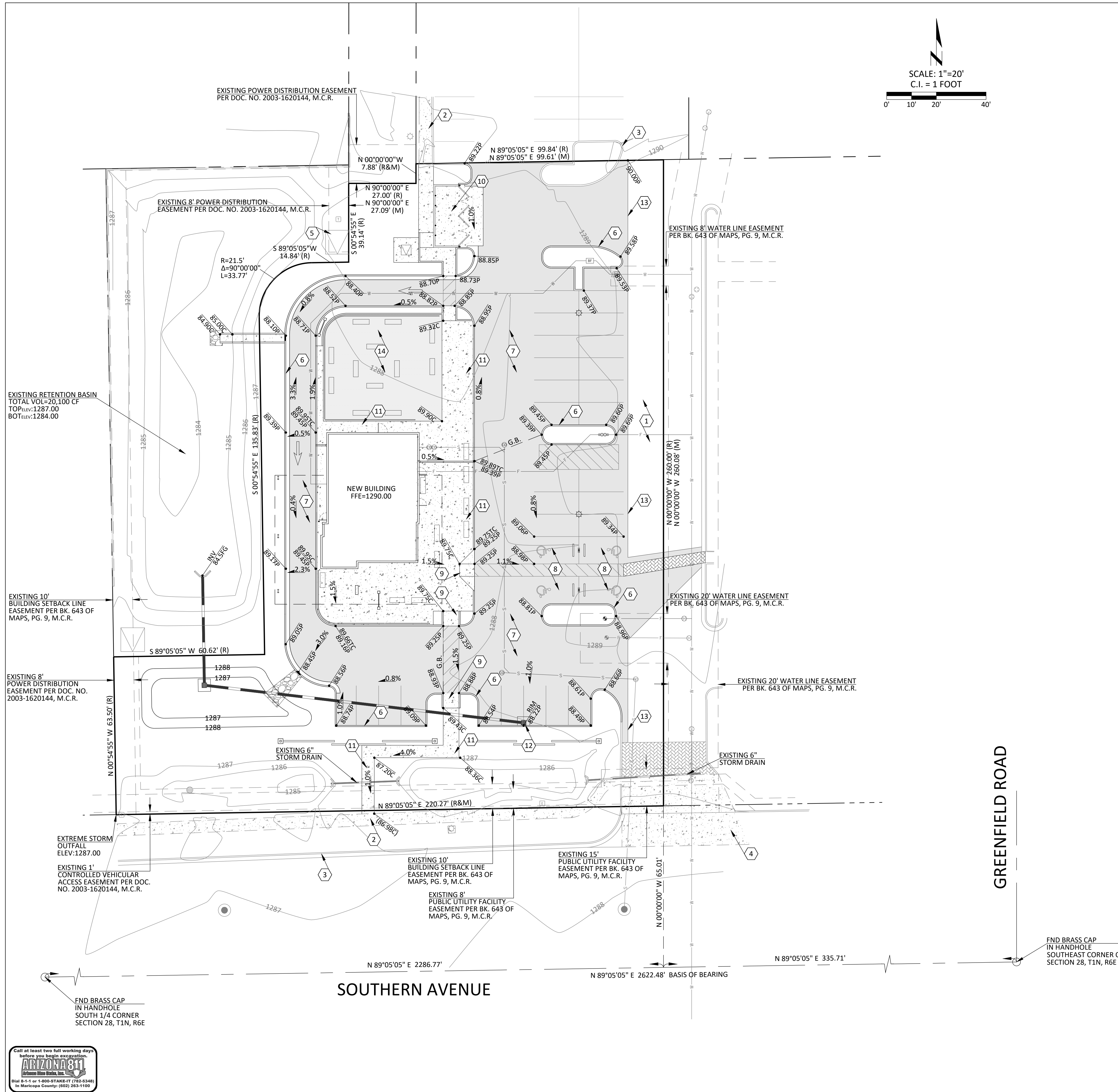
**PRELIMINARY IMPROVEMENT PLAN FOR
ANDY'S FROZEN CUSTARD - MESA**
 1158 SOUTH GREENFIELD ROAD, MESA, ARIZONA 85206
cover

DEVELOPER
 ANDY'S FROZEN CUSTARD
 338 NORTH BOONVILLE AVENUE
 SPRINGFIELD, MISSOURI 65806
 ATTN: AARON KING
 PH: (417) 861-3500

SITE ADDRESS
 1158 S. GREENFIELD ROAD
 MESA, ARIZONA 85206
 APN: 140-48-133

SHEET NUMBER





- KEYNOTES**
- 1 EXISTING ASPHALT TO REMAIN.
 - 2 EXISTING CONCRETE SIDEWALK TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CONCRETE DRIVEWAY TO REMAIN.
 - 5 EXISTING ELECTRICAL TRANSFORMER AND PAD TO REMAIN.
 - 6 NEW VERTICAL CURB.
 - 7 NEW ASPHALT PAVEMENT.
 - 8 NEW ACCESSIBLE PARKING SPACE TO COMPLY WITH ADAAG SECTION 502. 2% MAXIMUM SLOPE IN ALL DIRECTIONS.
 - 9 NEW CURB ACCESS RAMP PER ADAAG, SECTIONS 405 AND 406. 12:1 MAXIMUM LONGITUDINAL SLOPE AND 2% MAXIMUM CROSS SLOPE.
 - 10 NEW TRASH AND RECYCLE ENCLOSURE.
 - 11 NEW CONCRETE SIDEWALK.
 - 12 NEW CATCH BASIN.
 - 13 SAWCUT EXISTING ASPHALT.
 - 14 NEW PATIO AREA WITH ALTERNATE SURFACE TREATMENT PER ARCHITECTURAL PLANS.

CYPRESS CIVIL DEVELOPMENT
 strength + sustainability
 4450 north 12th street, #228
 phoenix, arizona 85014
 p: 623.282.2498
 e: jphunt@cypresscivil.com
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NO.	DATE	REVISION

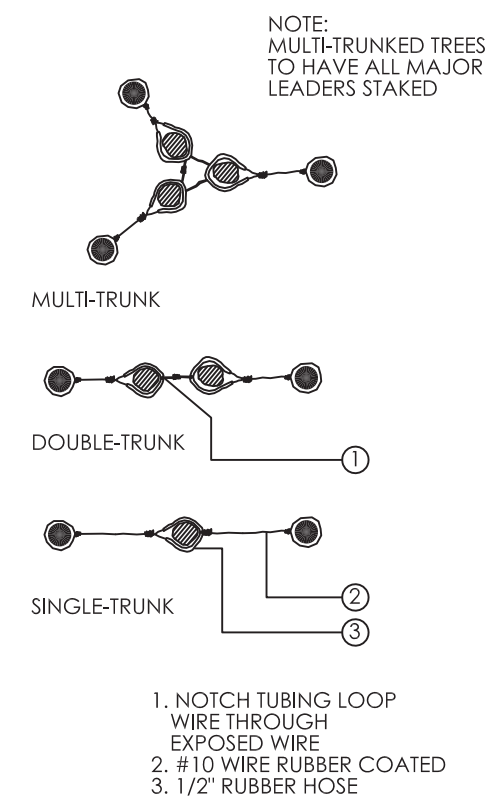
**PRELIMINARY IMPROVEMENT PLAN FOR
 ANDY'S FROZEN CUSTARD - MESA**
 1158 SOUTH GREENFIELD ROAD, MESA, ARIZONA 85206
 grading and drainage plan

DEVELOPER
 ANDY'S FROZEN CUSTARD
 338 NORTH BOONVILLE AVENUE
 SPRINGFIELD, MISSOURI 65806
 ATTN: AARON KING
 PH: (417) 861-3500

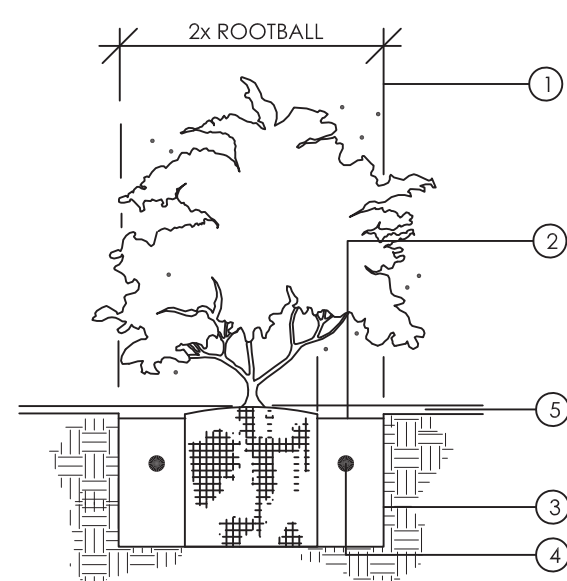
SITE ADDRESS
 1158 S. GREENFIELD ROAD
 MESA, ARIZONA 85206
 APN: 140-48-133

SHEET NUMBER

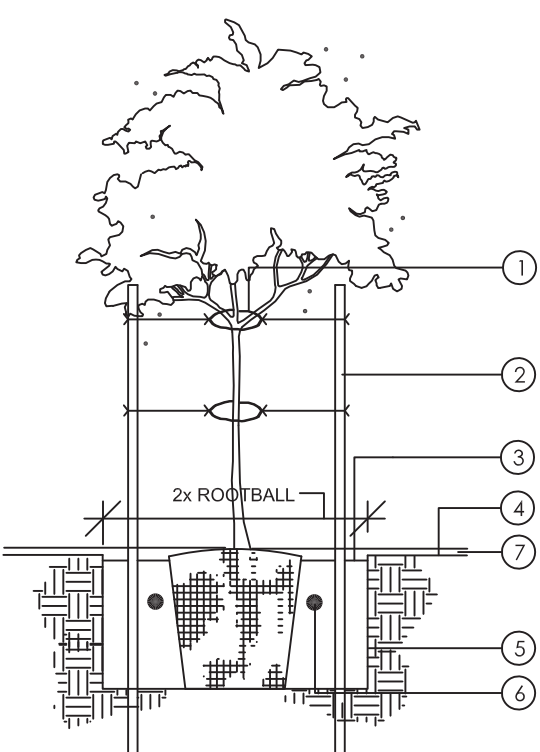




T&M TREE GUYING DETAIL
NOT TO SCALE



T&M SHRUB PLANTING DETAIL
NOT TO SCALE



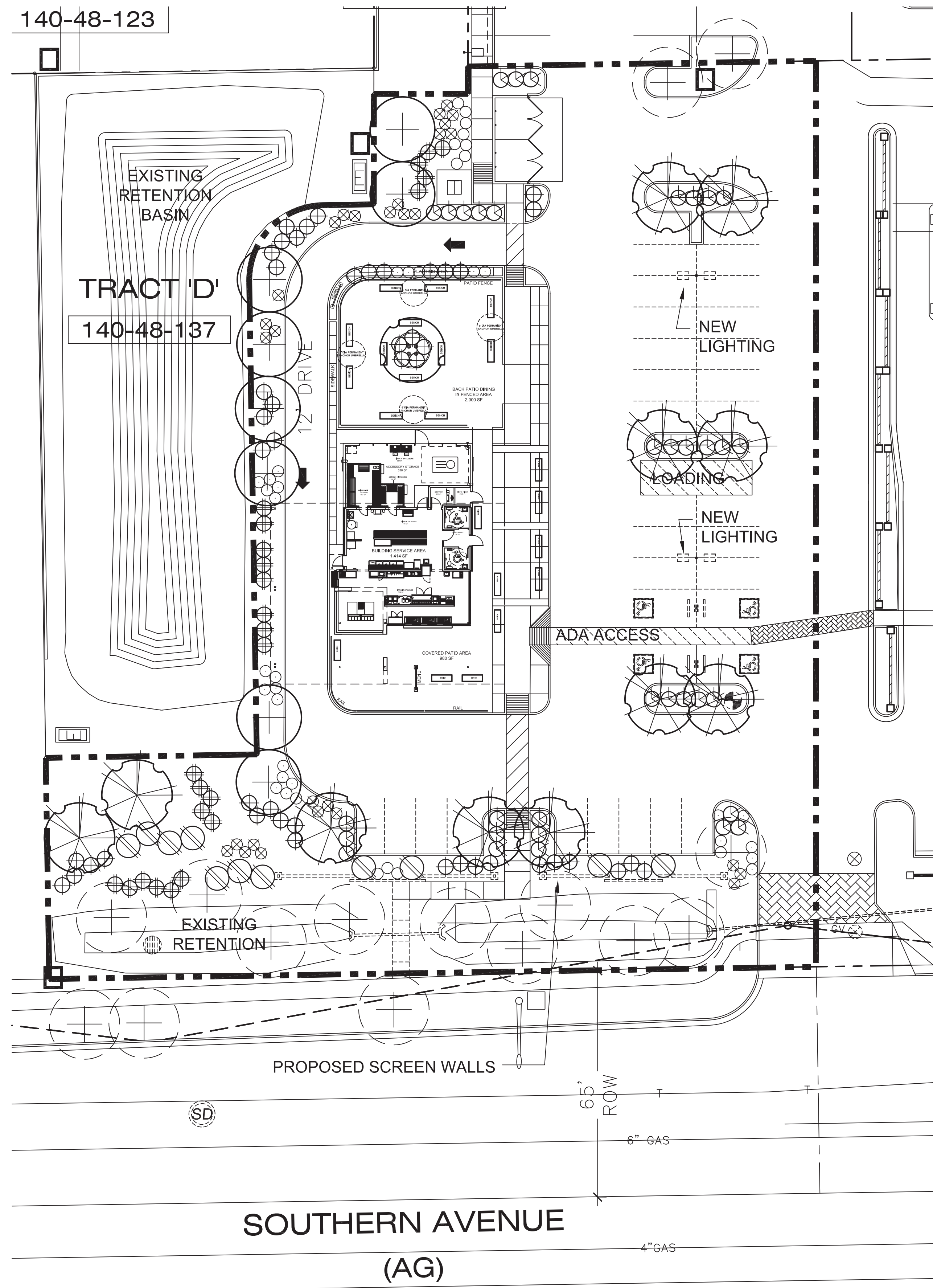
T&M DOUBLE STAKING DETAIL
NOT TO SCALE

1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
2. 1" BASIN
3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

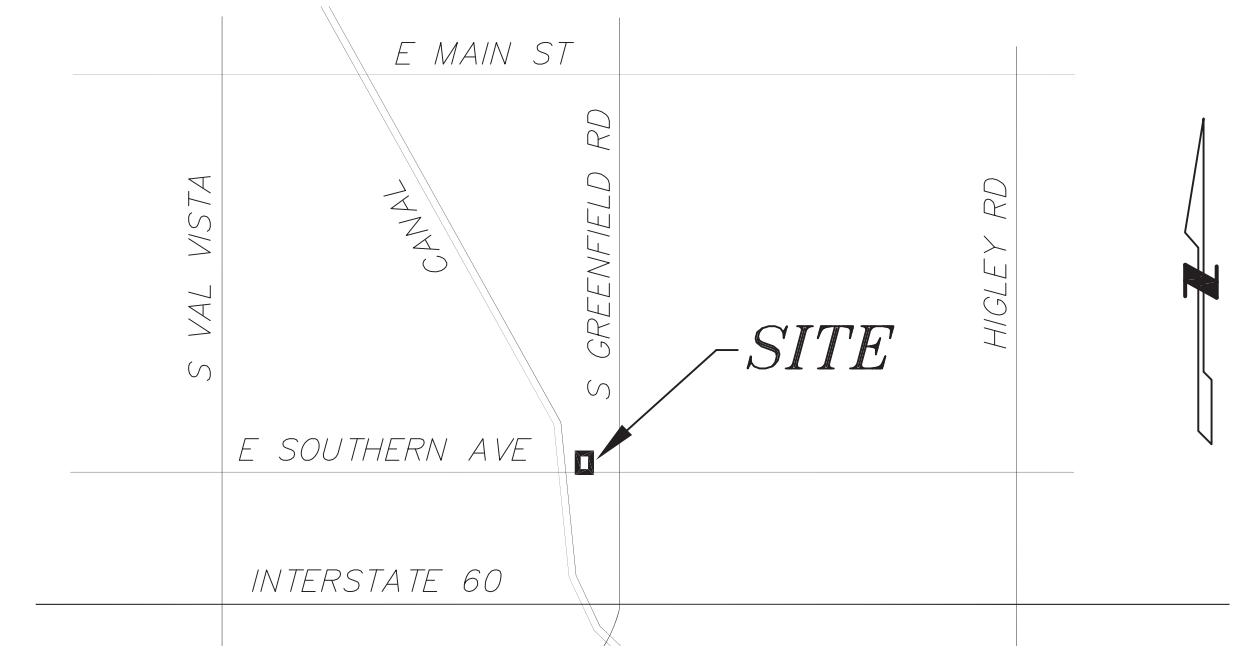
1. 1/2" RUBBER HOSE WITH #10 WIRE
2. TWO 2" ROUND BY 10' LONG GREEN TREE STAKES BURY 3' BELOW GRADE
3. 4" BASIN
4. GRADE (PRIOR TO GRANITE)
5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
6. AGRIFORM TABLETS
7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.



LANDSCAPE LEGEND

- CERCIDIUM HYBRID
DESERT MUSEUM PALO VERDE
24" BOX (MATCHING)
- QUERCUS VIRGINIANA
LIVE OAK
24" BOX
- QUERCUS VIRGINIANA
LIVE OAK
36" BOX
- EXISTING TREE
PROTECT FROM CONSTRUCTION
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON
- ENCHINO CACTUS GRUSONII
(PRE-TAGGED) GOLDEN BARREL
10" RND CONTACT ADAM 480-933-9469)
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



20 VICINITY MAP



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P. (602) 265-0320 F. (602) 266-6619
EMAIL: timmqueen@tjmla.net



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WWW.ARCHICON.COM

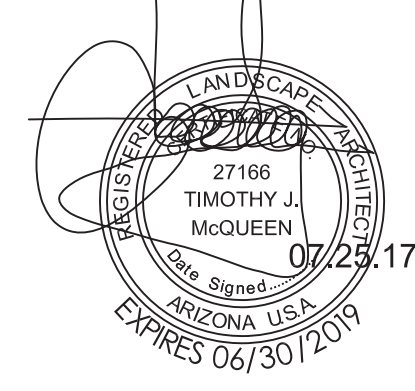
**PAD DEVELOPMENT FOR
ANDY'S FROZEN CUSTARD - MESA**

1158 S. GREENFIELD RD.
MESA, ARIZONA 85206

JOB NO: 1712705-01
PROJECT MGR: MESA, AZ
DRAWN BY: ARCHICON
CHECKED BY: J. PLANCK

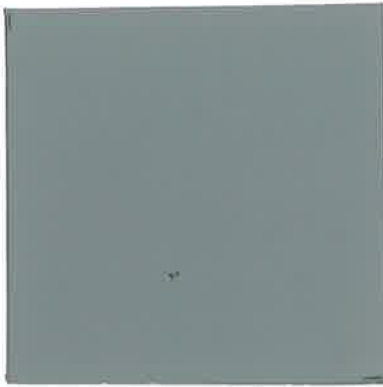
NO.	REVISION	DATE

SHEET TITLE:
LANDSCAPE PLAN



La.01

ISSUE DATE: JULY 28, 2017



FORMAL GRAY
DEC789
DUNN EDWARDS



SUMMERVILLE
DE6139
DUNN EDWARDS



RUDDY OAK
DE5188
DUNN EDWARDS



FUEGO RED
SMOOTH CMU
SUPERLITE



BLACK CANYON
SMOOTH CMU
SUPERLITE



CLEAR ANODIZED
ALUMINUM



NICHIHA PANELS
VINTAGE CEDAR



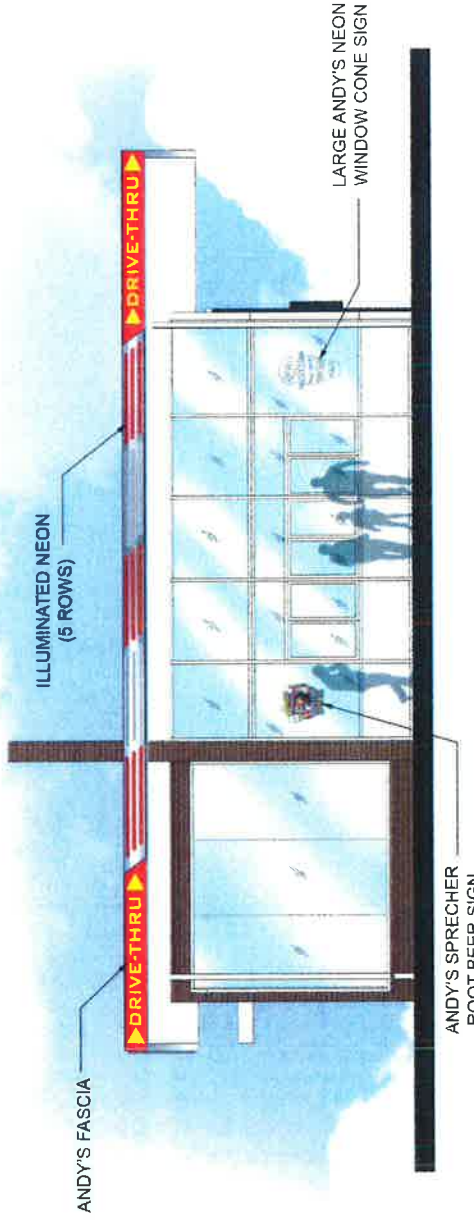
Color & Materials Board

Andy's Frozen Custard
Mesa, AZ

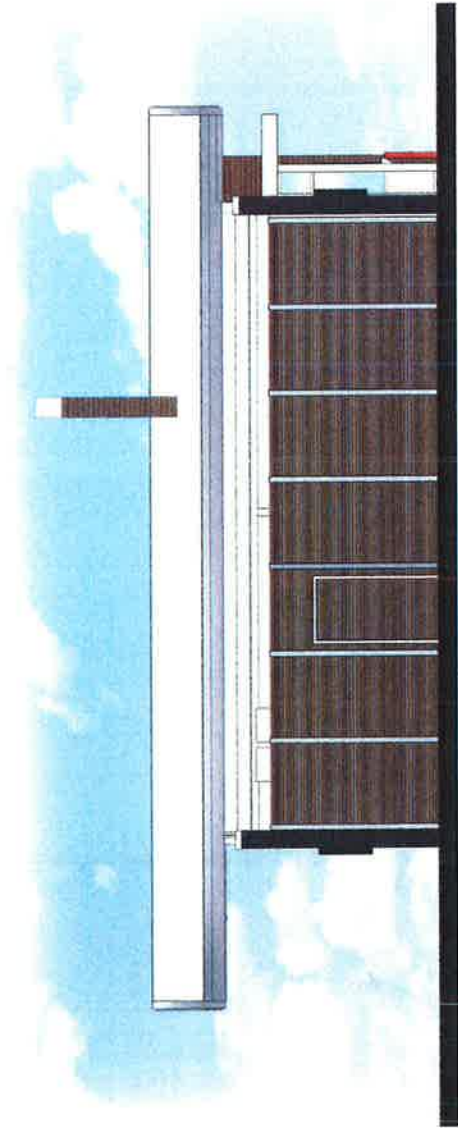
Site and Building Signs







FRONT ELEVATION



BACK ELEVATION





LEFT ELEVATION

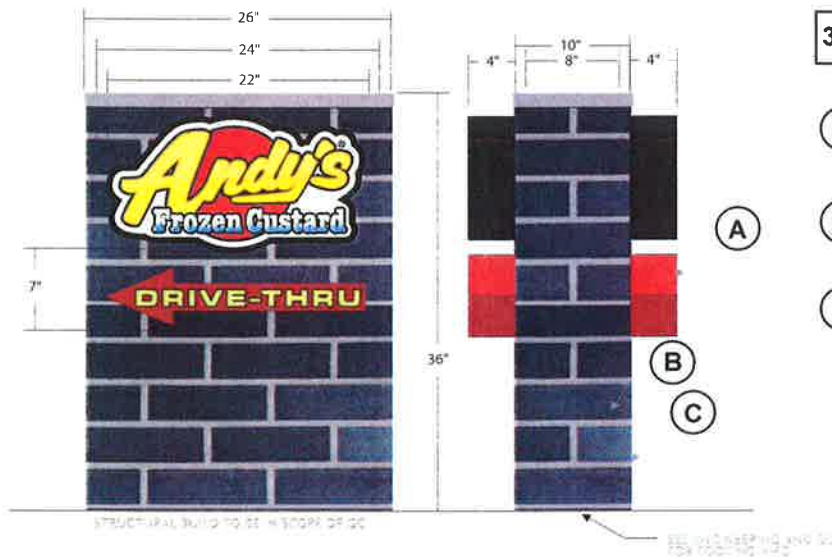


RIGHT ELEVATION



2A 6 PANEL MENU BOARD

- (A) 5" BY 2" C-CHANNEL W/LED'S FOR DOWNCAST LIGHTING WITH CLEAR LENS
- (B) THIN GAUGE STEEL PLATE W/DIGITAL PRINTS ON MAGNETS (BY OTHERS)
- (C) 3" X 3" ALUMINUM POST AND 12" BASE PLATE
- (D) INSTALLED WITH WEDGE ANCHORS INTO CONCRETE
- (E) 2' X 4' ROUND PIERS
- (F) BASE PLATE BOLT HEAD COVERS PAINTED TO MATCH (QTY: 1/FOOTING)
- (G) 12" X 18" CUSTOM PRINT ON DOUBLE-SIDED BAKED ON BLACK ROUTED PANEL WITH 90° BENT ANGLE EDGE TO FLUSH MOUNT TO POST



3A LIGHTED DIRECTIONAL SIGN

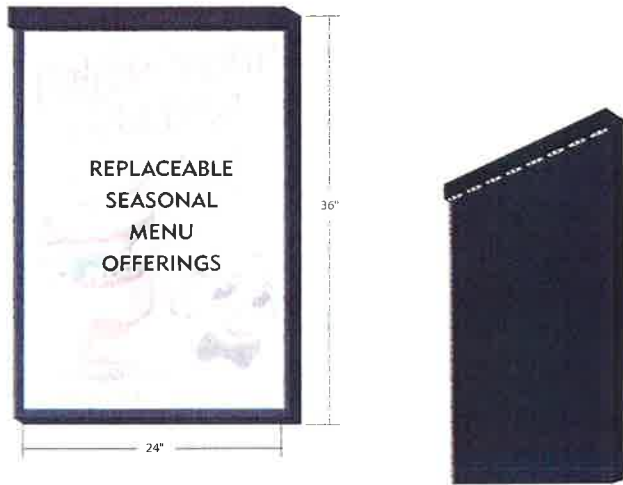
- (A) DOUBLE-SIDED DIRECTIONAL SIGN, ILLUMINATED SINGLE-SIDED CHANNEL CABINETS
 - (B) MATERIALS TO FAMILY WITH BUILDING MATERIALS PER LOCATION
 - (C) PRE-CAST CONCRETE CAP
1. STRUCTURAL BUILD TO BE IN SCOPE OF GC



4A CLEARANCE BAR

- (A) FLAT DIBOND PANEL
- (B) BLACK METAL CHAIN ADJUSTED IN FIELD TO MEASURE
- (C) PAINTED 6" PVC PIPE WITH REFLECTIVE 3M 680 WHITE VINYL WRAP
- (D) 5" STEEL PIPE PAINTED
- (E) LAMINATED DIGITAL PRINT ON .080" ALUMINUM SIGN PANEL/PRE-DRILLED TO BE FASTENED WITH ADJUSTABLE SIDE-MOUNT BRACKETS AND 1/4" BOLT
- (F) BOLT HEAD COVERS PAINTED TO MATCH (QTY:4)
- (G) 12" BASE PLATE WITH WEDGE ANCHORS INTO CONCRETE
- (H) 24" X 48" ROUND PIERS





6A SEASONAL MENU BOARD

1. 1/8" THICK ALUMINUM CABINET (BY OTHERS)
2. DOWNCAST LED ILLUMINATED MENU DISPLAY
3. REPLACEABLE SEASONAL MENU OFFERINGS



7A REVERSE CHANNEL CABINET WITH NEON HALO

- (A) REVERSE CHANNEL CONTOUR CABINET W/RED LED HALO
 - (B) ALUMINUM FACE W/VINYL GRAPHICS
 - (C) NEON OVER TOP OF FACE
 - (D) 3/16" CLEAR POLY CARBONATE TO COVER NEON FACE WITH MILL FINISHED STANDOFFS
1. ALUMINUM FACE
 2. LED MODULES MOUNTED INTERNAL TO CLEAR POLY CARBONATE-FACING INSIDE CABINET



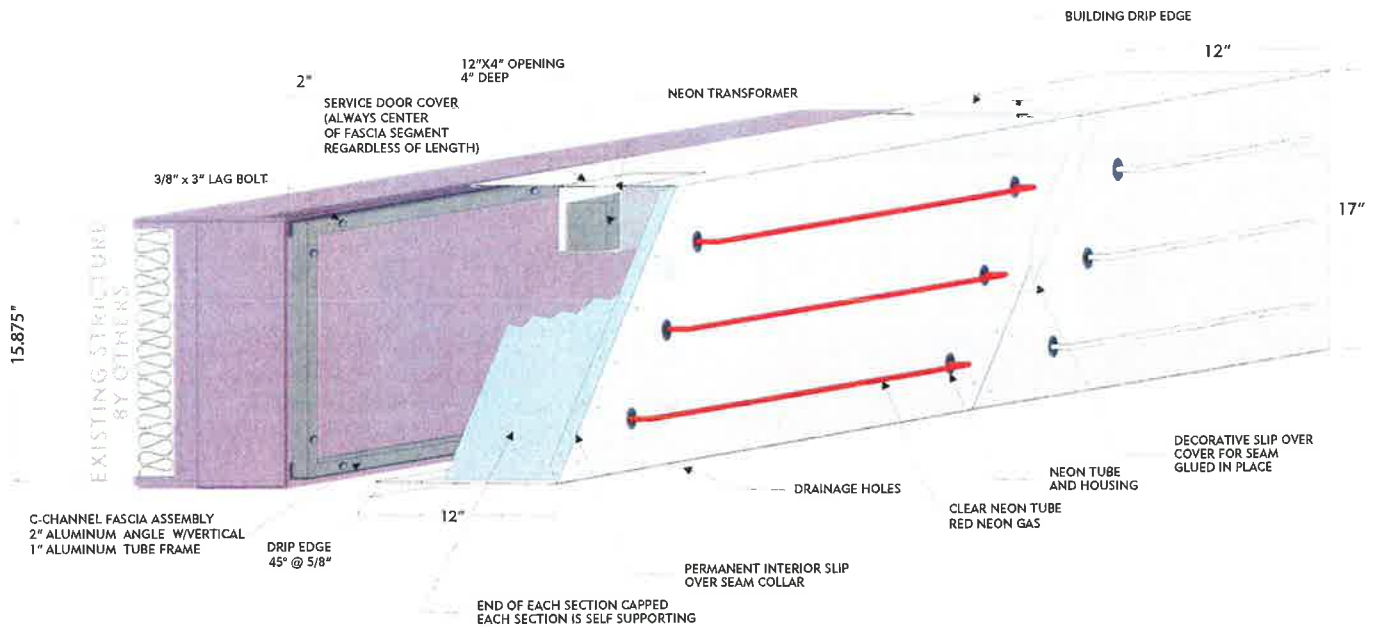


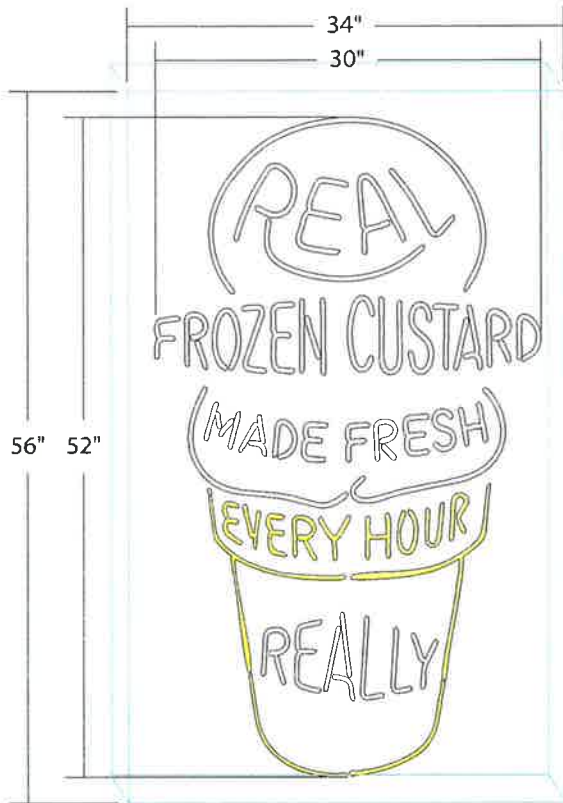
8A ANDY'S FASCIA

1. ARCHITECT SHALL COORDINATE ALL FLASHING DETAILS TO PROVIDE WEATHER TIGHT SEAL BETWEEN NEON FASCIA AND ROOF SYSTEM



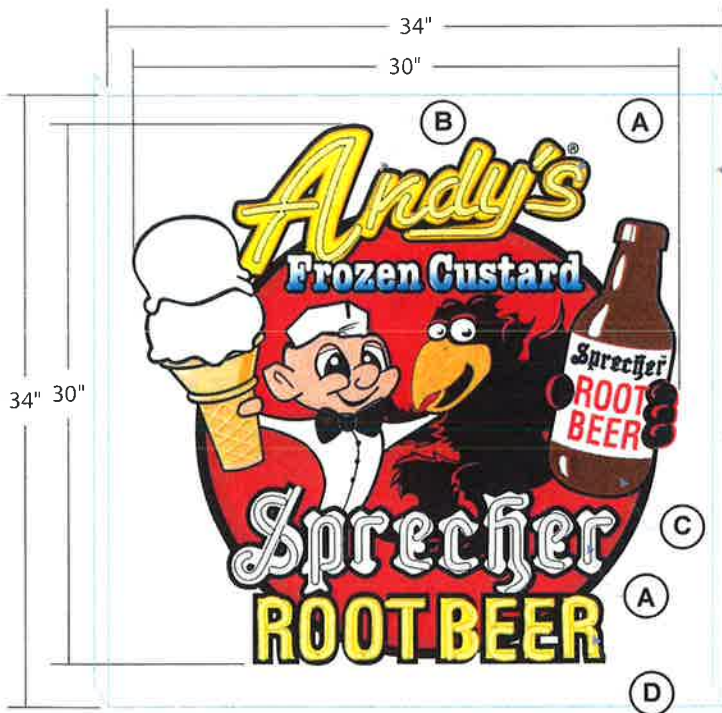
8B ILLUMINATED NEON FASCIA





9A LARGE ANDY'S NEON WINDOW CONE SIGN

1. CHAIN TO CEILING-ADJUST TO MEASURE
2. 6' CORD TO 120V SERVICE (QTY=3)
3. ON/OFF SWITCH W/CHAIN
4. 3/16" CLEAR ACRYLIC, CUSTOM BENT TO SHAPE
5. ELECTRONIC TRANSFORMER
6. NEON
7. WINDOW
8. TRANSLUCENT VINYL APPLIED TO ACRYLIC BACKER TO ALLOW MORE VISUAL OF SHAPE
9. PERIMETER CUT SMOKED ACRYLIC



10A ANDY'S SPRECHER ROOT BEER SIGN

- (A) NEON
 - (B) NON-ILLUMINATED ALUMINUM CABINET
 - (C) VINYL GRAPHICS APPLIED TO FIRST SURFACE
 - (D) YELLOW AND WHITE SKELETAL NEON
 - (E) 3/16" CLEAR ACRYLIC, CUSTOM BENT TO SHAPE
1. CHAIN TO CEILING
 2. 6' CORD TO 120V SERVICE
 3. ON/OFF SWITCH
 4. CONTOUR CUT ALUMINUM DOUBLE-SIDED BASE PANEL
 5. ELECTRONIC TRANSFORMER



11A L.E.D ANDY'S SCOOPIN THE FINEST SIGN



- A** REVERSE CHANNEL CONTOUR CABINET W/RED LED HALO
 - B** ALUMINUM FACE W/VINYL GRAPHICS
 - C** NEON OVER TOP OF FACE
 - D** 3/16" CLEAR POLY CARBONATE TO COVER NEON FACE WITH MILL FINISHED STANDOFFS
1. ALUMINUM FACE
 2. LED MODULES
 3. PAINTED BLACK CABINET RETURN
 4. CUSTOM WOOD TEXTURE, REVERSE-CUT PANEL
 5. PUSH-THRU ACRYLIC WITH INSERT BRUSHED ALUMINUM FACE

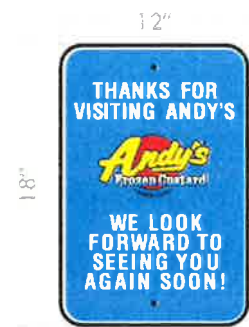




P1 ATTACHES TO POST
QUANTITY DICTATED PER SITE PLAN



P2 ATTACHES TO POST
QUANTITY DICTATED PER SITE PLAN



P3 ATTACHES TO POLE, SPECS PER STATE MANDATE



P4 ATTACHES TO MENU
12" X 18" CUSTOM PRINT ON DOUBLE-SIDED BAKED ON BLACK ROUTED PANEL WITH 90 DEGREE BEN ANGLE EDGE TO FLUSH MOUNT TO POST



P5 MINIMUM: 1 @ WALK-UP / 1 @ EXIT

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KC

Pole/Combo - Contour® KAD with Pole



Intended Use

For parking areas, street lighting, walkways and car lots. One catalog number includes everything you need: Contour series KAD fixture(s) with lamp, pole, base cover, anchor bolts and pole top cap. House-side shield option is available.

Download or view

[KAD/Pole Combo flier](#) (US version)
[KAD/Pole Combo flier](#) (Canada version)

Construction

Configuration: Choice of single-mount (KC1) or double-mount (KC2).

Housing: Rugged, die-cast, soft-corner aluminum housing with 0.12" nominal wall thickness. Extruded 4" soft corner arm for square pole mounting. Dark bronze (DDB) corrosion-resistant polyester powder finish.

Door Frame: Die-cast door frame has impact-resistant, tempered flat glass lens which is fully gasketed with one-piece bonded tubular silicone.

Finish: Fixture and pole are finished with dark bronze (DDB) corrosion-resistant polyester powder.

Optics

Reflectors are anodized aluminum and hardware is corrosion resistant.

Nighttime Friendly™ - FULL CUTOFF

Electrical

Ballast is quad-tap, constant wattage autotransformer, and 100% factory tested.

Socket: Porcelain, horizontally (position) oriented mogul-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W-600V.

Lamp: Lamp included in fixture carton.

Installation

Pole: Straight square steel, pre-drilled for double mount. Plugs included to close off unused mounting holes.

See [KAD](#) without pole.

Listings

UL Listed for wet locations.

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